

BLANDFORD + NEIGHBOURHOOD PLAN 2011 – 2033

MODIFIED PLAN



***Published by Blandford Forum Town Council, Blandford St
Mary Parish Council and Bryanston Parish Council under the
Neighbourhood Planning (General) Regulations 2012
(as amended)***

March 2023

Guide to Reading this Plan

Of necessity, this Neighbourhood Plan is a detailed technical document. The purpose of this page is to explain the structure and help you find your way around the plan.

1. Introduction & Background

This section explains the background to this Neighbourhood Plan.

2. The Neighbourhood Area

This section details many of the features of the designated area.

3. Planning Policy Context

This rather technical section relates this Plan to the National Planning Policy Framework and the planning policies of Dorset Council.

4. Community Views on Planning Issues

This section explains the community involvement that has taken place.

5. Vision, Objectives & Land Use Policies

This is the key section. Firstly, it provides a statement on the Neighbourhood Plan Vision and Objectives. It then details Policies which are proposed to address the issues outlined in the Foreword and in Section 4. These Policies are listed on page 7. There are Policy Maps at the back of the plan and additional information in the Appendices to which the policies cross reference.

6. Implementation

This section explains how the Plan will be implemented and future development guided and managed. It suggests projects which might be supported from the potential future Community Infrastructure Levy which the Town and Parish Councils will have some influence over. Finally, it deals with a number of issues which although relevant are outside the scope of a Neighbourhood Plan.

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MARCH 2023

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FOREWORD

The Blandford+ Neighbourhood Plan is being modified.

Our Community's Neighbourhood Plan passed examination and was approved by Dorset Council cabinet in June 2021. In order for the policies in the plan to remain 'active' - carrying full weight in the planning balance - there is a need for the Plan to be reviewed and examined every two years.

Dorset Council's 5 Year Housing Land Supply is still short of the Government target thus rendering certain policies within the adopted North Dorset Local Plan 'Out of Date'.

In order for our plan to remain 'active', particularly to give protection from unwanted development, the three constituent parish councils: Bryanston, Blandford St. Mary and Blandford, gave approval for the Plan's policies to be reviewed, updated and added to as necessary, and to be submitted for examination in June 2023.

Why do we need to continue with a Neighbourhood Plan?

Blandford+ is a vibrant and thriving community; it is the largest retail centre in North Dorset with 15% of the market share for comparison goods and the 4th largest centre in Dorset. As with all areas of the country, Blandford+ must continue to grow to meet the current and future demands of a healthy and growing population, and ensure that infrastructure is provided where it is needed most.

B+NP Modifications project aims to:

- Review all policies from B+NP 2021- 2033 in the light of changes to local and National planning policies, circumstances and regulations and through discussions with expert parties; and to remove or modify policies accordingly. This is deemed a 'light touch' procedure with almost all of our original policies in place and continuing to work for the B+ community. 'Light touch' in this case means that the modifications, although material, do not change the nature of the plan and should not require a full examination leading to a second referendum, and only an examination.
- To introduce new policies to continue to meet the needs of the B+ Community.

What are the principal modifications the community can expect to see?

- Policy B6 (Health) To reflect the outcome of the merger of the GP practices in the neighbourhood area, and after discussions with the local surgery and Dorset CCG, we propose an update of our Health policy to strengthen our support for future improvements and expansion of the health facilities in Blandford.
- Policies: B10, B11, B12 (Design in the three parishes) have been merged into one policy (B10). Modifications in these policies better reflects the new

approach to design management the Government wishes the planning system to adopt. The design codes proposed, provides more detail to guide local planners and builds on the successful design polices in the Made Plan.

- B11 (Local heritage assets – a new policy) This new policy helps to draw to the attention of planning applicants to buildings and structures and places that have some local heritage value, rather than leave that information in heritage documents.

The Blandford+ Neighbourhood Plan area sits within beautiful Dorset countryside, and is enclosed by Cranborne Chase Area of Outstanding Natural Beauty (AONB) to the North and Dorset AONB to the South. The B+NP 2033 continues to recognise the importance of the AONB designations and aims to ensure that future development proposals are sensitive and suitable in respect of National Planning Policy Framework tests and Countryside Rights of Way Act obligations. To reinforce this commitment, and with the three Councils' approval, B+ is directing applicants bringing forward proposals in the B+ area to the AONB's Dark Skies lighting code.

Blandford+ Monitoring Group has been supported throughout the plan development by consultancies O'Neill Homer and AECOM funded by the government's support programme for neighbourhood plans. The Monitoring Group are also grateful for the guidance and support provided by officers of Dorset Council and the three constituent councils.

As well as some funding from the three councils, the Steering Group has received a grant from the Department for Levelling Up, Housing and Communities to enable the bulk of this modification project to be carried out.

The Blandford + Neighbourhood Plan Monitoring Group
October 2022

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1. INTRODUCTION & BACKGROUND

Background

1.1 Blandford Forum Town Council, Blandford St Mary Parish Council and Bryanston Parish Council (“the Councils”), and local residents are working together under the title Blandford + (“the Steering Group”) to prepare an update to the Neighbourhood Plan for the area designated by North Dorset District Council (NDDC), now Dorset Council, under the provisions of the Localism Act 2011 and the Neighbourhood Planning (General) Regulations 2012 (as amended). The designated area is shown in Figure A below and coincides with the parish boundaries of the three parishes.

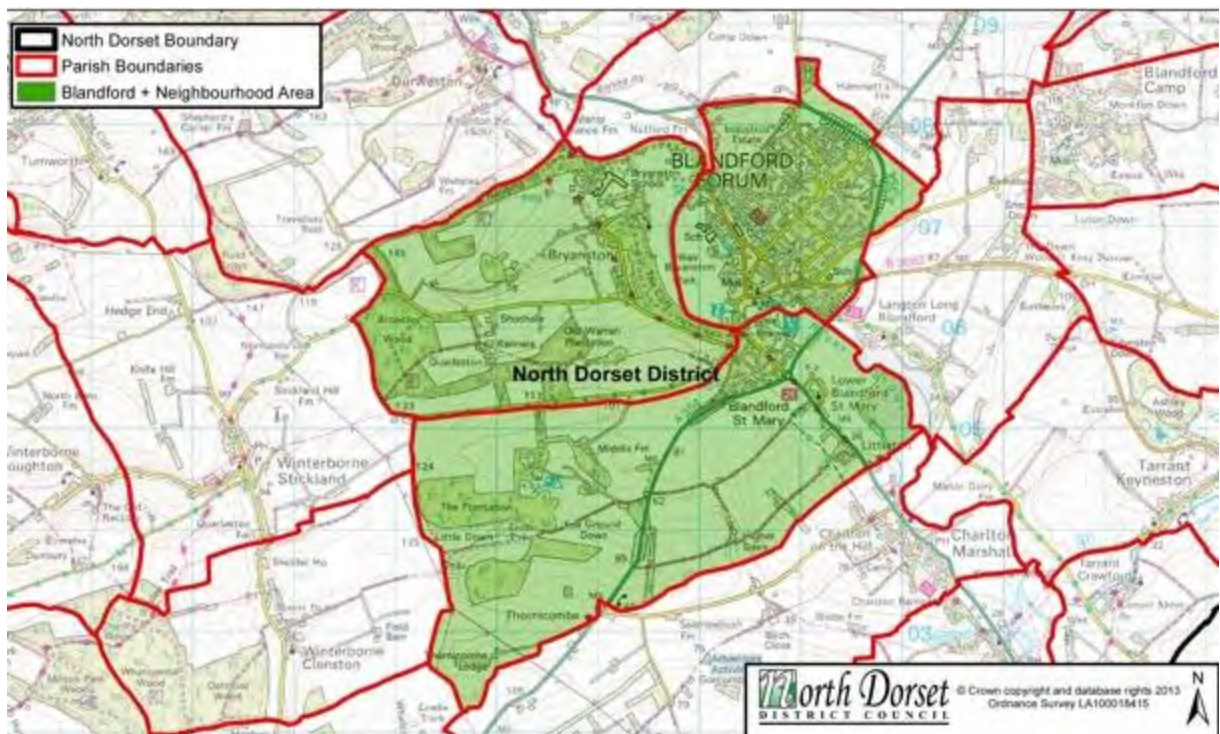


Fig A: Designated Blandford + Neighbourhood Plan Area

1.2 The purpose of the Modified Neighbourhood Plan is to make planning policies that will be used to determine planning applications in the area in the period to 2033. Its policies will aim to deliver essential social infrastructure, mainly in the northern part of the town, with enabling housing, and employment. In some cases, its policies are aimed at lowering planning risk to encourage development and investment of the right type in the right location, such as that of the critical need for a new primary school. In others, its policies discourage development that will undermine the special historic and landscape character of the area, such as conserving and enhancing the the River Stour (Crown) Meadows and their setting.

1.3 Neighbourhood Plans provide local communities with the chance to shape the future development of their areas. Once approved at referendum, the Plan becomes a statutory part of the development plan for the area and will carry significant weight in how planning applications are decided. Plans must therefore contain only land use planning policies that can be used for

this purpose. This often means that there are important issues of interest to the local community that cannot be addressed in a Plan if they are not directly related to planning.

1.4 Although there is considerable scope for the local community to decide on its planning policies, Neighbourhood Plans must meet all of the following 'basic conditions' as set out in Paragraph 8(2) of Schedule 4B to the Town and Country Planning Act 1990 (as amended). These are:

- Have regard to national policies and advice contained in guidance issued by the Secretary of State;
- Ensure that the making of the Neighbourhood Plan contributes to the achievement of sustainable development;
- Ensure that the making of the Neighbourhood Plan is in general conformity with the strategic policies contained in the Development Plan for the area of the authority (or any part of that area);
- Ensure that the making of the Neighbourhood Plan does not breach, and is otherwise compatible with, EU obligations, as incorporated into UK law.

1.5 In addition, the Steering Group, on behalf of the Councils as the qualifying body, must be able to show that they have properly consulted local people and other relevant organisations during the process of making and modifying the Plan and has followed the Regulations. The Steering Group have undertaken extensive consultations to ensure that the Plan reflects the majority of local community opinion and they are described in greater detail in Section 4.

1.6 These requirements were tested by an independent Examiner for the Made Plan and, following a successful referendum, Dorset Council made the Plan on 22 June 2021. The examiner will also test these requirements for the Modified Plan.

The Modification Proposal and Statement

1.7 The Councils have been actively monitoring the implementation of the policies by Dorset Council in its determinations of planning applications and it considers that some policies warrant modification to aid their more effective implementation and there is one additional policy that it wishes to include.

1.8 This Councils formally consulted on the proposed modifications (the Modification Proposal) as per Regulation 14 of the Neighbourhood Planning (General) Regulations 2012 (as amended). The Modification Statement published alongside the Modification Proposal explains why, in the Council's opinion, the modifications do not change the nature of the plan. Dorset Council has informally agreed with this position. If the examiner agrees then the Modified Plan will not be subject to another referendum.

Sustainability Appraisal (& Strategic Environmental Assessment)

1.9 O'Neill Homer prepared a Strategic Environmental Assessment (SEA) Screening Report, in relation to the modifications, on behalf of the Councils, to establish whether an SEA will be required under the Environmental

Assessment of Plans & Programmes Regulations 2004 (as amended). In September 2022 the statutory bodies, the Environment Agency, Historic England and Natural England, were consulted and confirmed their agreement that the modifications are unlikely to result in any significant environmental effects. Dorset Council has prepared an informal opinion which states that an SEA of the modification is not required.

1.10 As the Made Plan was subject to an SEA and the Councils chose to prepare a Sustainability Appraisal (incorporating a Strategic Environmental Assessment) (SA/SEA), the Councils consulted on a separate Draft SA/SEA addendum alongside the Modification Proposal to demonstrate that the modifications will continue to contribute to the achievement of sustainable development. A Final SA/SEA addendum forms part of the submission documents now.

Habitats Regulations

1.11 The informal screening determination also confirmed that the findings of the report, including Natural England's response to the consultation on the draft report, that a Habitats Regulations Assessment (HRA) of the modifications would not be required in accordance with the Conservation of Habitats and Species Regulations 2017 (as amended).

2. THE NEIGHBOURHOOD AREA

2.1 The area, totalling 1977 hectares, comprises the main town of Blandford Forum to the north of the River Stour, the smaller village of Blandford St Mary to the south, and the smaller still settlement of Bryanston to the west of the Stour. The town lies in the gap where the River Stour cuts through the chalk downland and is at the meeting point of two Areas of Outstanding Natural Beauty (AONB). The Cranborne Chase and West Wiltshire Downs (CCWWD) AONB lies to the north and east of Blandford Forum and the Dorset AONB to the west and southwest. Small parts of the existing built up area lie within the CCWWD AONB (See Figure B). The CCWWD AONB has also been recognised as an International Dark Sky Reserve. In landscape terms, The Neighbourhood Plan area falls predominately within the South Blandford Downs landscape character area, the Mid Stour Valley landscape character area, and the North Dorset Chalk Escarpment landscape character area.

2.2 Blandford Forum covers an area of 409 hectares and is the main service centre in the south of the District with an extensive rural hinterland. The 2011 Census showed that the town had a population of 10,325. Blandford has expanded significantly in recent years, more than 1,400 new homes being built between 1994 and 2012 and a similar number planned in the period to 2031, although these will mainly be located in Blandford St Mary and Lower Bryanston as set out in the North Dorset Local Plan 2011-2031.

2.3 Blandford Forum has been described as one of the finest ensembles of Georgian country town architecture in the UK, possessing an excellent example of a Georgian town centre which contains many Listed Buildings. The town has a good range of shops and other key town centre uses, with a number of national businesses represented as well as independent traders. There are a number of large employment sites within the town and many local people are also employed at Blandford Camp, a large military site located just to the east of the by-pass, outside of the parish. The settlement also contains three primary schools (one of which is located in Blandford St Mary) with a fourth at Blandford Camp, a secondary school, a GP surgery and a community hospital.

2.4 Blandford St Mary covers an area of 961 Hectares and has an estimated population of 1,511 and 656 dwellings (Census, 2011). It is bounded with Blandford Forum to the North by the River Stour. The A354 divides the village to the East separating the NDDC Local Plan commitments (St Mary's Hill and Land at Ward's Drove), Lower Blandford St Mary and the parish church from the bulk of the village.

2.5 Bryanston Parish covers 607 hectares of mainly agricultural land to the west of the River Stour and has an estimated population of 925 and 199 dwellings (Census, 2011). It is bounded with Blandford Forum to the East by the River Stour and the grounds of Bryanston School, one of the UK's leading independent boarding schools.

2.6 There is a Site of Special Scientific Interest (SSSI) in Bryanston, see Figure B. The Bryanston SSSI citation confirms that the large roof space in the derelict 18th century kitchens at Bryanston is the only known breeding site for the Greater Horseshoe Bat in Dorset, and one of only seven breeding colonies

remaining in Britain. Natural England have confirmed the significance of the colony and its supporting habitat as this is an important aspect to the protection and enhancement of the SSSI and its protected Greater Horseshoe Bat population.

2.7 The Vincent Wildlife Trust assessment in 2010 confirmed that the Greater Horseshoe Bat is continuing to increase at the site and that the kitchen building continues to attract other overwintering species. The ancient woodland to the south of the building acts as a commuter route to foraging areas further afield, including Local Nature Reserves the Milldown and Stour Meadows, and as a foraging resource just before dawn.

2.8 The ancient woodland is also a Site of Nature Conservation Interest (SNCI) known as The Cliff, along with the ancient woodland The Hanging. The Local Nature Reserve, The Milldown, a popular recreational area of chalk grassland is also a SNCI.

2.9 Fontmell and Melbury Downs SAC lies approximately 10km north of Blandford, consisting of approximately 260 hectares of species rich chalk grasslands on the scarp slope of the Dorset Downs.

2.10 The Neighbourhood Area has over 200 listed buildings including:

Grade I:

- Church of St Peter and St Paul, Blandford Forum
- Town Hall and Corn Exchange, Blandford Forum
- Pump House, Blandford Forum
- The Old House, Blandford Forum
- Greyhound House, Blandford Forum
- Coupar House, The Plocks, Blandford Forum
- 18-20 Market Place, Blandford Forum
- 26 Market Place, 72 East Street, Blandford Forum
- The Portman Chapel, Bryanston
- Bryanston School, Bryanston

Grade II*:

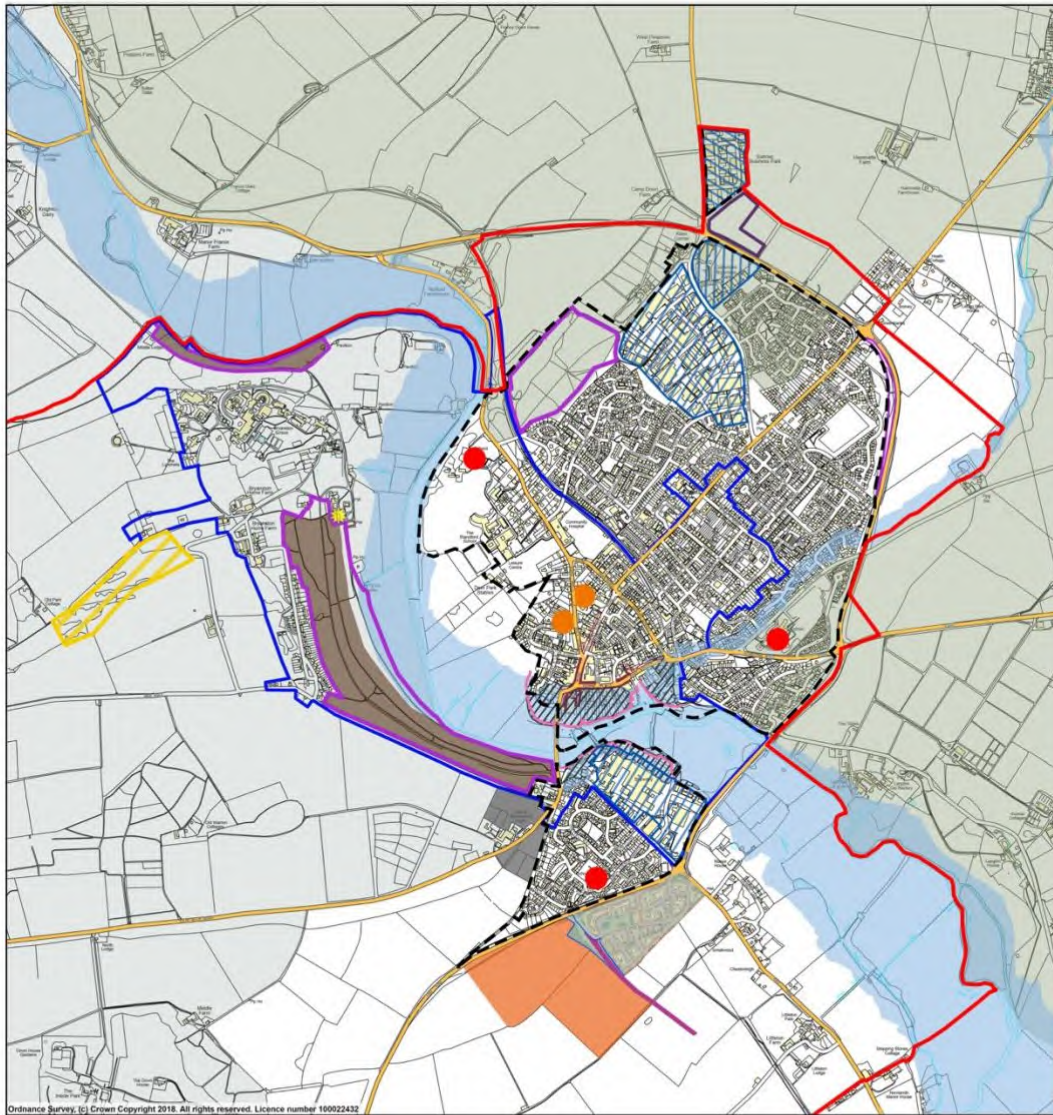
- Lime Tree House, Blandford Forum
- Lyston House, 32 East Street, Blandford Forum
- 1 Market Place, Blandford Forum
- 9 Market Place, Blandford Forum
- Eastway House, 5 East Street, Blandford Forum
- Dale House, Salisbury Street, Blandford Forum
- Church of St Mary, Lower Blandford St. Mary
- The Manor House, Lower Blandford St. Mary
- Home Farm, Bryanston
- Outbuildings to the South, Bryanston

Scheduled Monuments

- St Leonard's Chapel, Blandford Forum
- Field system in Old Park, Bryanston

2.11 The Blandford, Blandford St Mary and Bryanston Conservation Area was designated in 1972. It was expanded in 1990 (see Fig. B) and nine sub-areas within it were subsequently identified with their key characteristics in the 2003 Local plan and a number of subsequent reports, including the Dorset Historic Towns Study (2011).

2.12 The Neighbourhood Plan area has a functional floodplain which is principally Flood Zone 3, separating Blandford Forum from Blandford St Mary. Flood Zone 3 is of high risk of flooding, representing that there is a 1% (1 in 100) or greater chance of happening each year. Flood Zone 3 is also seen to the north east of the Neighbourhood Plan area, associated with the presence of Pimperne Brook.



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B+ NP Constraints Plan

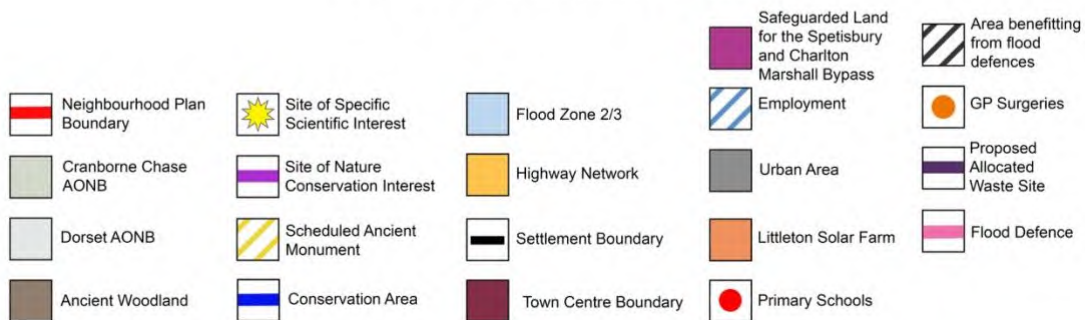


Fig B: B+ NP Constraints Plan

3. PLANNING POLICY CONTEXT

3.1 The Neighbourhood Plan Area lies within the Dorset Council Local Planning Authority area in the County of Dorset.

3.2 During the early stages of B+NP2 development, the Dorset Area was served by Dorset County, East Dorset, North Dorset, Purbeck, West Dorset and Weymouth & Portland councils. North Dorset District Council was the Local Planning Authority at that time. The new Unitary Authority, Dorset Council, came into being as the Local Planning Authority on the 1st April 2019. The North Dorset Local Plan Part 1 (LPP1) set out that North Dorset District Council (NDDC) would commence a review of the plan by the end of March 2016 with the aim of adopting the Plan by the end of November 2018. NDDC did consult on an Issues and Options Document as part of the Local Plan Review, but the review did not progress as quickly as anticipated prior to NDDC being dissolved on the 31 March 2019. Dorset Council took the decision to cease work on the North Dorset Local Plan Review with the work that had been done to date feeding into the production of the Dorset Council Local Plan (which now encompasses the North Dorset area). Dorset Council aims to adopt the new (wider) local plan in 2026.

3.3 National Planning Policy Framework (NPPF) published by the Government is an important guide in the preparation of local plans and neighbourhood plans. The following paragraphs of the latest version are especially relevant to the Blandford + Modified Neighbourhood Plan 2033:

- Achieving sustainable development (§14)
- Neighbourhood Planning (§28 - 30)
- Delivering a wide choice of high quality homes (§62)
- Building a strong, competitive economy (§81 - §83)
- Ensuring the vitality of town centres (§86)
- Promoting healthy safe communities (§92 - §93)
- Sufficient choice of school places (§95)
- Open space and recreation (§98 - §99)
- Local green spaces (§100 - 103)
- Good design (§127)
- Conserving and enhancing the natural environment (§174 - §176)
- Conserving and enhancing the historic environment (§189 - §208)

3.4 The Government has also set out a requirement for the provision of First Homes in a Written Ministerial statement on 24 May 2021. These requirements were subsequently incorporated into National Planning Practice Guidance which allow for First Homes Exception Sites to come forward on unallocated land outside of a development plan but only within those parts of the neighbourhood area which do not lie in an AONB.

3.5 The Government is consulting on proposed changes to the National Planning Policy Framework (NPPF) and the Levelling Up & Regeneration Bill (LURB) is currently passing through Parliament. It expects to publish the new NPPF and enact the LURB in spring 2023, but there are further changes to the NPPF proposed by the end of the year in relation to the LURB. One of the most significant changes for Neighbourhood Plans is that of §14. It is proposed that

made Neighbourhood Plans that have met their housing needs shall have greater weight in the tilted balance in determining housing proposals (as per existing §14), but for five instead of two years and with the removal of the caveat for the LPA to demonstrate a three year supply of housing land and of the housing delivery test caveat.

3.6 The extent to which the Plan has reflected these policies in its own policies was set out in the separate Basic Conditions Statement which accompanied the Made Plan. A Basic Conditions Statement accompanies the Modified Plan now. It is the role of the Plan to strike the right balance between these policies as they apply to the Neighbourhood Area.

3.7 Neighbourhood Plans must also be in general conformity with the strategic policies contained in any development plan, which currently comprises policies from the NDDC Local Plan Part 1, as well as policies saved from the District-Wide Local Plan (adopted 2003), and waste and minerals plans for Dorset. There are no matters in the adopted Minerals Plan which directly affects this plan.

NDDC Local Plan Part 1

3.8 Blandford Forum (and St Mary) is identified as one of the main locations for growth and Policy 16 sets out detailed specifications for this area. Bryanston is identified as the Countryside subject to countryside policies.

POLICY 16: BLANDFORD

Sustainable Development Strategy

Blandford will maintain its role as the main service centre in the south of the district through:

- a development and redevelopment within the settlement boundary; and
- b extensions, primarily of housing to the south-east and to the west of Blandford St Mary; and
- c employment uses on land within the bypass on the northern edge of the town and the mixed-use regeneration of the Brewery site close to the town centre.

Growth will be taken forward in ways which respect the town's environmental constraints, support its role, function and identity, and contribute to making it more self-contained. Blandford's distinctive natural and historic character will be retained and enhanced.

Environment and Climate Change

The impact of flooding and climate change on the town will be addressed by:

- d taking account of the risks of fluvial, groundwater and surface water flooding in new development; and
- e incorporating sustainable drainage systems into new developments; and
- f the protection and management of valuable groundwater resources.

The town's natural and historic built environment will be protected and enhanced.

Meeting Housing Needs

At least 1,200 homes will be provided at Blandford Forum and Blandford St Mary during the period 2011 - 2031. In addition to infilling and redevelopment within the settlement boundary, Blandford's housing needs will be met through:

- g mixed-use regeneration of the Brewery site; and
- h the development of land to the south east of Blandford St Mary; and
- i the development of land to the west of Blandford St Mary (at Lower Bryanston Farm and Dorchester Hill).

POLICY 16 (CONT'D): BLANDFORD

Development of land at Lower Bryanston Farm and Dorchester Hill should only commence once a mitigation package (that includes details of implementation measures) has been agreed to the satisfaction of Natural England.

Supporting Economic Development

Employment needs in the town for the period up to 2031 will be met through:

- j the mixed-use regeneration of the Brewery site; and
- k the development of land off Shaftesbury Lane; and
- l the development of vacant sites on existing industrial estates; and
- m the retention of existing employment sites.

In the period up to 2031, additional retail floorspace will be provided through:

- n the extension of the existing Tesco supermarket at Stour Park; and
- o the provision of a new supermarket off Shaftesbury Lane.

Town centre regeneration will embrace a range of town centre uses, not only retail and commercial but community and leisure as well as residential uses, and will be encouraged. An important element of town centre regeneration will be land to the south of East Street, including land around the existing retail store. On appropriate sites, all development and redevelopment schemes which support town centre regeneration, such as the extension of existing retail units south of Market Place and East Street, will be viewed positively within the recognised constraints of heritage and flooding considerations. The emerging neighbourhood plan for Blandford will have a key role to play in identifying regeneration opportunities in the town.

Infrastructure

In the period up to 2031, grey infrastructure to support growth will include:

- p the provision and enhancement of walking and cycling links within Blandford between residential areas and key destinations, such as the town centre, employment sites, schools and other community facilities; and
- q the provision and enhancement of public transport, cycling and walking links between Blandford and nearby villages (and Blandford Camp); and

POLICY 16 (CONT'D): BLANDFORD

- r the improvement and extension of the North Dorset Trailway along, or close to, the route of the former Somerset and Dorset Railway line for cycling and walking; and
- s the identification of a safeguarded route for the Spetisbury and Charlton Marshall Bypass as part of the development of the land south east of Blandford St Mary;

In the period up to 2031, social infrastructure to support growth will include:

- t the refurbishment of the Corn Exchange to form the main community venue for the town and the provision of neighbourhood halls to serve new development in the northern part of the town and Blandford St Mary; and
- u the retention of Blandford Leisure Centre in community use and the upgrading of its facilities; and
- v the extension of the Archbishop Wake school and either extension of the Milldown school or provision of a new 2 forms of entry primary school; and
- w a new doctors' surgery or the expansion or relocation of existing doctors' surgeries.

A network of green infrastructure will be developed in and around Blandford, focusing on linking existing sites (such as the Milldown and Stour Meadows) and providing new sites and links to serve the residents of both the new and existing developments in the town. New or improved facilities will include:

- x new sports pitches and associated facilities on land within the settlement boundary of Blandford.

3.9 The sustainable development strategy for Blandford as defined by Policy 16 seeks to ensure that Blandford's role as the main service centre in the southern part of the district is maintained.

3.10 Policy 4 (The Natural Environment), Policy 5 (Historic Environment), Policy 11 (Economy) and Policy 14 (Social Infrastructure) of the Local Plan are also considered to be especially relevant. Policy 4 seeks to protect the Natural Environment, and as the Neighbourhood Area is bounded by the two AONBs in North Dorset, the Policy is of particular importance in setting out the requirements and expectations of the local planning authority regarding the AONBs. The policy states:

"...Within the areas designated as AONB and their setting, development will be managed in a way that conserves and enhances the natural beauty of the area. Proposals which would

harm the natural beauty of the AONBs will not be permitted unless it is clearly in the public interest to do so. In such instances, effective mitigation should form an integral part of the development proposals. Developers will be expected to demonstrate how they have had regard to the objectives of the relevant AONB management plan for the area..."

3.11 Policy 5 seeks to protect the Historic Environment. The Neighbourhood Area has a Conservation Area and a wealth of listed buildings and some scheduled ancient monuments, some of these are on the Heritage at Risk Register and therefore the policy is particularly important in setting out how the Local Planning Authority will assess proposals that would harm a heritage asset, and in justifying substantial and less than substantial harm to their significance.

3.12 Policy 11 sets out the Local Planning Authority's position on employment, specifically the spatial approach, specific site allocations and uses on employment sites. The policy specifically names part of the Brewery Site, Blandford St Mary and Land off Shaftesbury Lane in the Neighbourhood Area as key strategic sites primarily for employment uses. Since the adoption of the Local Plan the position on employment in the town has changed and updated evidence demonstrates that there is now a need for employment land in Blandford Forum.

3.13 Policy 14 of the Local Plan aims to deliver the principles of National Policy in delivering sufficient community facilities to meet local needs. It seeks to ensure that new development contributes to the maintenance and enhancement of social infrastructure, where appropriate. The policy specifically seeks new or expanded health services facilities in Blandford, but the evidence that was being relied in the preparation of the Local Plan in terms of education provision, has since been updated (See DC Pupil Place Planning Statement in the evidence base). The updated evidence demonstrates that there is now a critical need for a new primary school in the northern part of the town.

3.14 To ensure conformity with the strategic policies of the Local Plan the neighbourhood plan sets out to balance the needs for social infrastructure, local housing and employment in Blandford with the need to protect and enhance the natural and historic character of the area. It is the resolution of the social infrastructure deficits including a school and health facilities that remain uppermost in the minds of the local community.

3.15 Prior to 1st April 2019, NDCC commenced production of a new Local Plan for the District, which was intended to replace both the North Dorset District-Wide Local Plan (1st Revision adopted in January 2003) and the North Dorset Local Plan Part 1. As part of this process the District Council consulted on an Issues and Options Document between November 2017 and January 2018 and responses were published online. The North Dorset Local Plan Review reflected the Local Plan core spatial strategy which directed development to the main service centres while also supporting modest development in the rural villages and had confirmed that it intended continuing this strategy for the next plan period. This work is now being carried forward into production of the Dorset Council Local Plan.

3.16 Both Dorset Council and the three Neighbourhood Plan Councils are keen to see the growth in the designated area to be plan-led and for the town to contribute positively to the area's objectively assessed needs in the absence of Dorset Council being able to demonstrate a 5 year housing land supply for the North Dorset area. It has been agreed that to address this position, the Neighbourhood Plan will come forward more quickly than the new Dorset Council Local Plan and will be responsible for site allocations and other area specific policies within the designated area. The plan has also applied the reasoning and evidence underpinning the emerging Dorset Council Local Plan (DLP).

3.17 To this end, the Councils and Dorset Council worked collaboratively by sharing evidence and by holding regular progress meetings. They agreed a land use specification covering infrastructure, housing and employment needs to which the policies in the neighbourhood plan now address. The specification reflects the updated position provided to the Councils by Dorset Council since the Local Plan was adopted and accords with the new provisions of the NPPF 2018 (paragraphs 23 and 66). The specification requires the neighbourhood plan to allocate land for:

- *approximately 400 homes over and above commitments and Local Plan allocations*
- *at least a 2FE primary school with room for expansion to 3FE*
- *at least 2Ha of B1-B8 employment land*
- *the delivery of the necessary highway and green infrastructure*

3.18 This was in anticipation of the LPR and to avoid any general conformity issues. The Site Selection Background Paper, included in the evidence base, sets out how this has been achieved and has been informed by a SA/SEA appraisal as the work has progressed. This includes the testing of the spatial options which were consulted on informally in July 2018.

3.19 The Made Plan therefore met an indicative housing requirement figure of approximately 400 homes over and above commitments and Local Plan allocation in the period to 2033. Since then, Dorset Council has started the process of preparing a Dorset-wide Local Plan which it anticipates will cover the period to 2041. The Pre-submission Publication is anticipated for December 2024 and adoption in Spring 2026. An Options consultation in January 2021 indicated the scale of housing growth anticipated in the neighbourhood area, but no formal housing requirement figure to 2041 has been published. Given the early stages of its preparation, the Councils have agreed to undertake a modification of the Made Plan now, and a fuller review in due course.

3.20 Dorset Council has confirmed that the Options Consultation in January 2021 identified a housing requirement figure for the Blandford + neighbourhood area to 2038 of 1,497 which is the sum of completions since the beginning of the plan period; extant planning permissions; adopted housing allocations; capacity on major sites (of 10 or more dwellings) within development boundaries as evidenced through the SHLAA; a windfall allowance on minor sites (of less than 10 dwellings); and proposed housing allocations to be made in the new Dorset Council Local Plan. Dorset Council

has also confirmed that the pro rata figure for the period up to 2033 is 1,057 (to the nearest dwelling) and that proposals set out in the emerging Modified Plan continue to meet this pro rata figure for the Blandford + neighbourhood area.

3.21 Housing supply in the Blandford + Neighbourhood Area therefore continues to be in excess of what would have been its reasonable contribution to the Local Planning Authority's objectively assessed housing need in the period to 2033. Given the early stage of the emerging Local Plan preparation, the retained plan period of the Modified Plan, and the indicative housing requirement figure for the neighbourhood area to 2033 being met through the retained site allocations in the original Policy B2 that have not yet been implemented, the Modified Plan will continue to engage §14b of the NPPF.

3.22 As the Site Selection and SA/SEA Scoping Reports acknowledge, a large proportion of the neighbourhood area lies either within the Dorset AONB or the Cranborne Chase and West Wiltshire Downs AONB or their setting and also includes an extensive area of functional flood plain and significant and nationally important heritage assets. Despite these physical and environmental constraints the Councils have concluded that on balance that allocations in part of the Cranborne Chase and West Wiltshire Downs AONB (CCWWD) is unavoidable and in the public interest if it is to address social and other infrastructure weaknesses even though the NPPF states that 'great weight should be given to conserving and enhancing landscape and scenic beauty' in these areas (paragraph 172).

3.23 The Councils have long sought to address these weaknesses, particularly in the northern part of the town where housing expansion over recent decades has not been accompanied by supporting social or commercial infrastructure. Dorset Council, the Local Education Authority, have updated the Pupil Place Planning Statement¹ which has reviewed the need for early years, primary and secondary school provision in Blandford to update the position set out in Policy 16 of the adopted Local Plan. The statement confirms that the provision of new primary school places in Blandford is now critical and, having discounted all other options, their preferred option is to locate a new primary school and enabling development within and in the setting of the CCWWD AONB in the north of the town beyond the bypass. They have concluded there is no other land available in Blandford to accommodate the new school.

3.24 The challenge for the Plan is to secure these identified needs in a way which demonstrates the plans contribution to sustainable development - it is this that lies at the heart of the neighbourhood plan's Vision for Blandford.

The Bournemouth, Dorset and Poole Waste Local Plan

3.25 While waste planning is 'excluded development' for the purposes of neighbourhood planning, the new Dorset Waste Plan was adopted in December 2019. The Plan identifies sites for new waste management facilities

¹ Blandford Pupil Place Planning Statement – Updated June 2019

to meet the county's needs and provides the policy framework for determining planning applications for waste management facilities up to 2033.

3.26 The new Waste Plan allocates land to the south east of Sunrise Business Park within the CCWWD AONB and within the neighbourhood area for a new waste management facility.

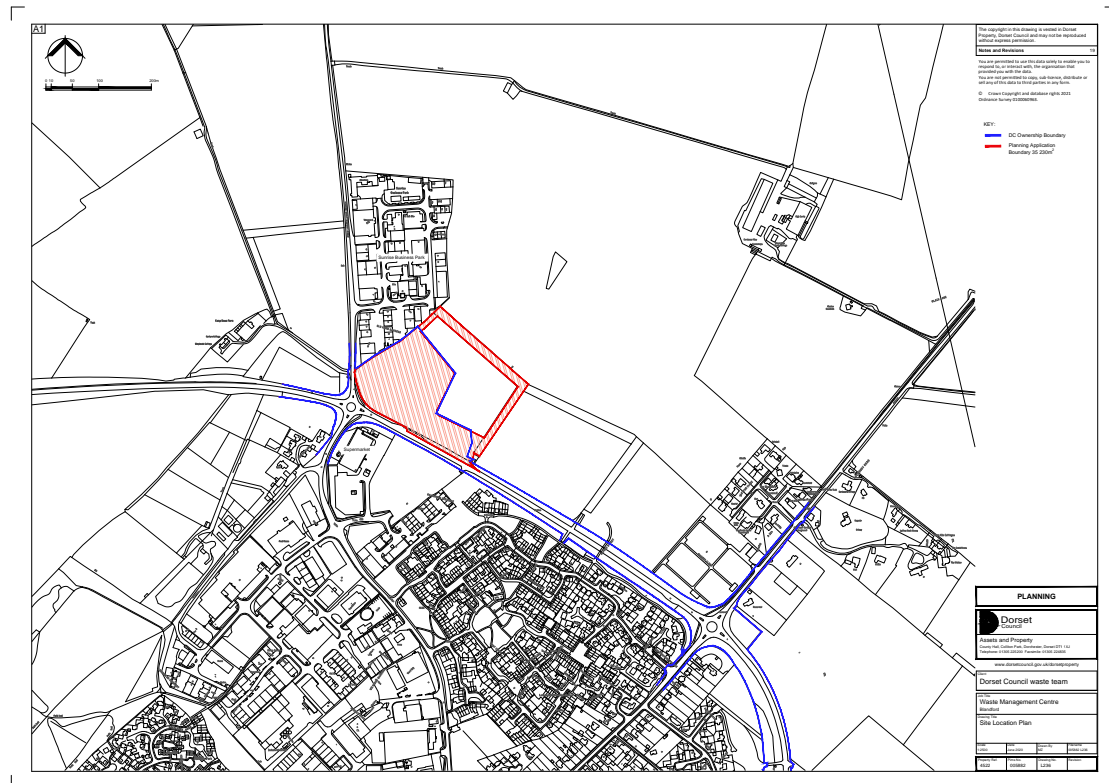


Fig C: Allocated waste site in Blandford + Area

3.27 The land included in the new Waste Plan is on land that was considered for employment allocation in B+NP 2031. The exact siting of the waste facility has now been determined, see Figure C above. The remainder of the land could therefore still be considered for employment purposes and the landowners have confirmed that this is the intention, subject to any uses not being precluded to the waste use.

AONB Management Plans

3.28 The Cranborne Chase & West Wiltshire Downs AONB Management Plan 'Cranborne Chase Partnership Plan 2019 – 2024' and the Dorset AONB Management Plan 2019 – 2024 are material considerations for all applications within, or within the setting of, the AONBs. Public bodies, including parish and district councils, have a statutory duty under Section 85 of the Countryside and Rights of Way Act 2000 to have regard to the purpose of conserving and enhancing the natural beauty of areas of outstanding natural beauty.

Neighbourhood Plans

3.29 There are made neighbourhood plans in the Local Planning Authority area, but none in the vicinity of the Neighbourhood Area, other than the Pimperne Neighbourhood Plan 2016 – 2031 which had a successful Referendum on 10 January 2019, and was subsequently made on the 25 January 2019. It has also undergone a review and was formally adopted by Dorset Council on the 1st of November 2022. However, the plan review does not contain policies that are of direct relevance to the policies in the B+NP 2011 - 2033.

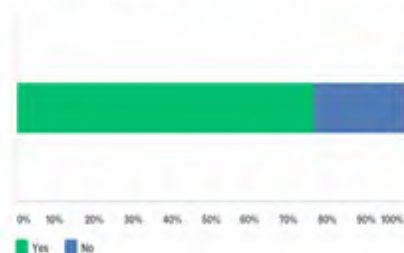
4. COMMUNITY VIEWS ON PLANNING ISSUES

4.1 In July 2018 the Councils carried out an informal consultation on the proposed scope of the Blandford + Neighbourhood Plan 2, and on preliminary development options identified through the Local Plan Review Issues & Options Consultation² and through subsequent contact with local land interests.

4.2 Aside from confirming the scope and direction for the new Plan, the two main aims of the informal consultation were to gauge community opinion regarding the definition of a settlement boundary for Blandford Forum and Blandford St. Mary, but excluding Bryanston, and identifying the preferred development option.

4.3 Settlement Boundary - Of the survey responses received, 77% were in favour of a settlement boundary being defined for Blandford Forum and Blandford St. Mary, and for Bryanston to remain without a settlement Boundary.

Q3 Do you agree to Bryanston not having a settlement boundary?



4.4 Preferred Development Option - Of the survey responses received, 76% preferred Option 1 – Land to the North and North East of Blandford (Areas A & B).

Q4 Which Development Option do you prefer?



4.5 Full details of all questions, a summary of the methodology and a breakdown of the public response to the informal survey questionnaire can be found in the [Informal Consultation Report](#). A summary and analysis of feedback from statutory bodies / land interests can be found in the [Informal Consultation Feedback Analysis Report](#).

² North Dorset Local Plan Review Issues and Options [Consultation](#) (Nov 2017)

4.6 Details of all consultations are provided in the Consultation Statement which accompanied the Submission version of the B+NP 2011 - 2033.

4.7 Since then, the Councils have undertaken additional informal consultations to engage with the community on the purpose and intention of the modifications to the neighbourhood plan over September and October 2022 and the Regulation 14 consultation ending in January 2023. Those who engaged during the informal and formal consultation period broadly supported the purpose and intention of the modifications as well as the material modifications to policies of the Made Plan. Details of all consultations has been provided in the Consultation Statement which accompanies the Submission version of the Modified B+NP 2011 – 2033 now.

5. VISION, OBJECTIVES & LAND USE POLICIES

5.1 The vision for the Blandford + Neighbourhood Area in 2033 comprises:

Growing our Communities Sustainably

Blandford Forum will maintain its role as the main service centre in the south of the district by:

- a. development and redevelopment within the settlement boundary; extensions, primarily of enabling housing to the north and north-east of Blandford Forum to deliver a new primary school in that part of the town and through existing committed land to the south east and west of Blandford St Mary; and
- b. encouraging new employment uses on land within and beyond the bypass on the northern edge of the town and the regeneration of Blandford Heights Industrial Estate.

Sustainable growth will be taken forward in ways which respect the town's environmental constraints and support its role, function and identity, and contribute to making the town more self-contained. Blandford's distinctive natural and historic character will be retained and enhanced.

Maintaining our Special Heritage and Landscape Character and Addressing the Challenges of Climate Change

The town's special landscape and heritage assets will be protected and enhanced in ways which balance the needs for development by:

- c. steps to moderate the visual intrusion of development into the landscape and in the setting of heritage assets;
- d. the provision of strategic landscaping to provide a transitional edge between development and the wider landscape; and
- e. siting and minimising the height of development to reduce its visual envelope and impact on the skyline, and by the use of green roof and other techniques to reduce the visual footprint of development.

The impact of flooding and climate change on the town will be addressed by:

- f. taking account of the risks of fluvial, groundwater and surface water flooding in new development;
- g. incorporating source control and sustainable drainage techniques into new developments;
- h. the protection and management of valuable groundwater resources; and
- i. increasing school place capacity in areas of deficiency to reduce the need for children to travel by car.

Meeting Local Housing Needs

At least 1,700 homes will be provided at Blandford Forum and Blandford St Mary during the period 2011 - 2033. In addition to infilling and redevelopment within the settlement boundary, Blandford's housing needs will be met through:

- j. the development of land to the north and east of Blandford Forum to enable the delivery of a new primary school in this part of the town and south east of Blandford St Mary (at St Mary's Hill and land north west of Ward's Drove); and
- k. the development of land to the west of Blandford St Mary (at Lower Bryanston Farm and Dorchester Hill), which should only commence once a mitigation package has been agreed and implemented to the satisfaction of Natural England and the community.

To ensure new houses are of high quality design and of an appropriate mix, in keeping with the established character of the area, and, that meets the needs of the existing community, especially younger families and local people.

Creating and Supporting Jobs and Cherishing our Town Centre

Employment needs in the town will be met through:

- l. the extension to the Sunrise Business Park;
- m. the development of land off Shaftesbury Lane;
- n. the development of vacant sites on existing industrial estates and the retention of existing employment sites.

The town centre will remain the focus of community activity. It will embrace a range of town centre uses, including retail, commercial, community, tourism and leisure as well as residential uses.

On appropriate sites, all development and redevelopment schemes should build on the ability of the town to attract and retain new businesses and major high street brands. Proposals such as the extension of existing retail units south of the Market Place and at East Street/Langton Road, will be viewed positively within the recognised constraints of heritage and flooding considerations.

Improving Vital Community Infrastructure

Grey infrastructure to support sustainable growth will include:

- o. the provision and enhancement of walking and cycling links within Blandford between the existing and new residential areas and key destinations, such as the town centre, employment sites, schools and other community facilities;
- p. the provision and enhancement of public transport, cycling and walking links between Blandford and nearby villages (and Blandford Camp);
- q. the improvement and extension of the North Dorset Trailway along, or close to, the route of the former Somerset and Dorset railway line for

- r. cycling and walking; and
- r. maintaining the safeguarded route for the Spetisbury and Charlton Marshall Bypass as part of the development of the land south east of Blandford St Mary.

Social infrastructure to support sustainable growth will include:

- s. the refurbishment of the Corn Exchange to form the main community venue for the town and the provision of new community centres on land north-east of Blandford Forum to serve new development in the northern part of the town and on land at St Mary's Hill, Blandford St Mary to serve that community;
- t. the retention of Blandford Leisure Centre in community use and the upgrading of its facilities;
- u. the provision of at least a 2FE new primary school on land north of Blandford Forum; and
- v. new or improved GP facilities and services from all new residential development proposals or the expansion or relocation of existing doctors' surgery in the town.

A network of green infrastructure will be developed in and around Blandford, focussing on linking existing sites (such as the Milldown, Stour Meadows and Preetz Way) and providing new sites and links to serve the residents of both the new and existing developments in the town. New or improved facilities will include:

- w. informal open space and play space on land north and north-east of Blandford Forum; and
- x. Upgrading of existing sports pitches and associated facilities on land within the built up area of Blandford.

Land Use Policies

5.2 Land use policies are used to determine planning applications made for development proposals. They can establish the principles for retaining or changing the use of land in settlements and in the countryside. They can also set out the conditions against which development proposals will be judged in terms of their design, access etc.

5.3 The purpose of these policies is to either encourage planning applications to be made for things the local community wants to see happen or to discourage applications for developments that they do not want to happen. Policies must be clearly written so they can be easily applied when considering planning applications.

5.4 The Plan deliberately avoids repeating existing national or local planning policies. The Plan is infrastructure led and focuses on a number of key development issues in the area, particularly the need to provide a new primary school in the northern part of the town. For all other planning matters, the National Planning Policy Framework and the North Dorset Local Plan will continue to be used. The development plan for North Dorset comprises the Local Plan Part 1 covering the period 2011-2031, the Dorset Minerals and

Waste Plans (excluded development for the purposes of neighbourhood planning) and some remaining saved policies of the former District-wide Local Plan. Any non-strategic policies that have not been delivered through the Neighbourhood Plan will be dealt with by the Dorset Council Local Plan.

5.5 Set out below are the proposed policies of the Plan. Each policy has a number and title and the policy itself is written in bold italics for ease of reference. There is also a short statement explaining the intention of the policy and any other relevant background information preceding each policy. At the end of this document are the Policies Maps - where a policy refers to a specific site or area then it is shown on the Maps.

Policy B1 – Blandford Forum & Blandford St. Mary Settlement Boundary

The Neighbourhood Plan defines the Settlement Boundary of Blandford Forum and Blandford St Mary, as shown on the Policies Map (Inset B), to manage development proposals in accordance with strategic policies for settlements and the countryside.

5.6 This policy defines the extent of the settlement boundary at Blandford Forum and Blandford St. Mary for the application of Policy 2 and Policy 20 of the Local Plan. These strategic policies set out the principles for development within settlement boundaries and the surrounding countryside respectively.

5.7 In making provision for new development on the edge of the 'main town' of Blandford Forum, it complements the spatial strategy and proposals of Policy 16 of the Local Plan and the emerging reasoning and evidence of the North Dorset Local Plan Review. It also updates the Settlement Boundary defined on the Proposals Map of the 2003 District-Wide Local Plan (in relation to its saved Policy 1.17).

5.8 The spatial plan focuses growth on building Blandford Forum into a more successful town, Blandford St Mary into a more successful village, and retaining Bryanston as part of the countryside. In doing so, it recognises that the town overall must grow up to and beyond 2033 to maintain its settlement status in the County and to roll forward the sustainable development strategy for Blandford in line with Policy 16 of the adopted Local Plan. In this way, it will secure crucial improvements to local schools and other community facilities and support the creation of higher value-added job opportunities for the local workforce.

5.9 The current settlement boundary is defined to the north-east and east by the bypass (A350/A354) between Shaftesbury Lane and the crossing of the River Stour. Between the river crossing of the A354 and Blandford Bridge, the settlement boundary follows the northern bank of the River Stour. From West Street, the western edge of the settlement boundary is defined by existing residential developments at River Mews and Parklands, and includes Deer Park Farm and The Blandford School, before re-joining the River Stour to the west of the school. Where the River Stour adjoins Milldown Road, the settlement boundary follows the north-western edge of The Milldown Site of Nature Conservation Importance (SNCI) before joining Tin Pot Lane along the

north-western edge of Blandford Heights (Clump Farm) Industrial Estate, including Kites Farm (Kites Corner).

5.10 The proposed boundary incorporates the Local Plan Part 1 committed land to the south east and south west of Blandford St Mary and the Policy B2 Mixed Use allocation and Policy B3(c) employment allocation. However, the land made available for development in relation to Policy B2 does not extend beyond the Town Council boundary into the neighbouring Parish of Pimperne. It will be for the Dorset Council Local Plan to determine if that land beyond the boundary shall be allocated.

Policy B2 – Land North & East of Blandford Forum

The Neighbourhood Plan allocates land to the North and North East of Blandford Forum, as shown on the Policies Map (Inset B), for a mix of residential, education, community and allotment uses.

Development proposals for the land will be supported, provided:

- i. The residential scheme comprises approximately 400 dwellings, including a mix of open market homes of which 5% should be self-build and/or custom build housing, and affordable homes for rent and other affordable routes to home ownership, primarily located on land to the north-east of Blandford Forum;***
- ii. The education scheme comprises a new two form entry primary school with integrated early years provision;***
- iii. The education scheme shall be confined to land to the north of Blandford of about 3 hectares and of a design to reduce its impact on the skyline to minimise its visual footprint and of regular form to enable school expansion to three form entry and in a convenient position to facilitate the use of the existing A350 pedestrian bridge;***
- iv. The community hub scheme comprises a new health and wellbeing facility, a community centre and convenience shop to serve the locality;***
- v. The Lamperd's Field Allotments are relocated to a single location to the west of their current position and comprise land of approximately 2.5 hectares and ancillary facilities that meet or exceed the standards of the existing site;***
- vi. The highways scheme comprises measures to satisfactorily manage its traffic effects on the road network and to encourage and enable safe and convenient walking and cycling to community facilities (including the new community hub and new school, the Blandford School, the recreation ground at Larksmead and Pimperne Brook/Black Lane) and employment areas (including the town centre, Sunrise Business Park, Glenmore Industrial Estate, and Blandford Heights Industrial Estate);***
- vii. The highways scheme includes proposals for the improvement to the existing bus services to serve the proposals and connecting to the***

- town centre, Blandford School, the Sunrise Business Park, Glenmore Industrial Estate and Blandford Heights Industrial Estate;*
- viii. *A design and landscape scheme comprises measures to satisfactorily mitigate any adverse impacts upon the AONB and minimise harm to the Grade II listed Langbourne House by way of the details of the design, layout, landscape treatment, materials and typical details of appearance and elevation of buildings and of minimising light spill into the AONB;*
- ix. *The green infrastructure scheme comprises an ecology, sustainable drainage and boundary treatment strategy that demonstrates how existing environmental assets will be protected and enhanced comprising:*
- A biodiversity strategy to deliver, where possible, a net gain in biodiversity value on site; and, how biodiversity assets will be connected into the wider green infrastructure network; and*
 - A public open space strategy to integrate the built environment and connected into the wider green infrastructure network, including the delivery of public open space proposals on both the land to the North and North East including informal open spaces and natural and equipped children's play space; and*
- x. *A flood risk assessment and sustainable drainage strategy to demonstrate how the scheme will not increase surface water or fluvial flood risk on any adjoining land.*

Proposals should be made in the form of a comprehensive planning application and should include:

- xi. *an illustrative masterplan that defines the land uses and key development principles for access, layout, design and the principles of phasing and implementation and demonstrates that the proposals would not adversely impact on the operation of a waste management centre on adjoining land;*
- xii. *design features that improve energy efficiency and reduces carbon dioxide emissions; and,*
- xiii. *a planning obligation to secure the release of all land necessary for the supporting infrastructure, the 2FE primary school and other community facilities following planning consent for the phase 1 scheme within the Blandford + Neighbourhood area and prior to the commencement of that scheme.³*

Where serviced plots have been made available and marketed appropriately for at least 12 months and have not sold, the plot(s) may either remain on the open market for self-build/custom build or be built out by the developer.

³ The planning obligation relates solely to the allocation in this plan and is not connected with any development proposal that may come forward on land beyond the boundary of B+ Neighbourhood Plan.

5.11 This policy allocates land on the northern and north-eastern edges of Blandford Forum and establishes the key land uses and development principles to meet the long term needs of the local community and ensure a successful scheme is delivered.

5.12 In doing so, it complements the strategy and proposals of Policy 14 and 16 of the adopted Local Plan, in that fundamentally Policy B2 is an enabling policy to ensure the critical educational needs identified by the Local Education Authority can be met to the north of the town. It continues the historic growth pattern of the town and presents the opportunity to create a new town gateway which reinforces this growth pattern and the strategic importance of Salisbury Road for both new and existing communities.

5.13 The allocation of housing here is to enable the delivery of a number of vital land uses and infrastructure to meet the needs of the northern part of Blandford Forum. These include critical educational and health infrastructure and public transport benefits which cannot be directly met by the planned growth of Blandford St Mary. In addition, this provision will increase the contribution of the town to meet the additional local housing needs of North Dorset in the period to 2033.

5.14 The provision of a new two form entry primary school, with space to expand to a three form entry primary school, complete with integrated Early Years provision will ensure proposals set out in Policies 14 and 16 of the Local Plan are delivered. The evidence of the Local Education Authority is unequivocal; that the provision of additional primary school places is now critical and there is a need to serve the needs pupils living north of the town centre, which has no existing provision. The Policy locates the school where the evidence indicates it is most needed and having considered all other options.

5.15 The availability of land north of the bypass for a new primary school has been discussed with the landowners and Dorset Council. The Education Authority have provided a Pupil Place Planning Statement, and updated report (see evidence base) which summarises the future demand for school places in Blandford. Whilst the Statement acknowledges the proposed location sits within the Cranborne and West Wiltshire Downs Area of Outstanding Natural Beauty, it confirms that based on their analysis to date for delivering additional capacity in terms of a new 2FE primary school, the site north of the bypass is their preferred location and the delivery of which is critical to the ability of DC to fulfil its statutory obligation of providing school places in Blandford. The location also benefits from pedestrian access to the Shaftesbury Lane residential area via a pedestrian footbridge and would mitigate the potentially considerable additional car movements required to ensure 400 children are able to access the primary school safely and that could result from school locations elsewhere.

5.16 It is considered that the vital school benefit, and the national priority given to the provision of school places by government justifies the incursion of a major development into the AONB in accordance with paragraph 172 of the NPPF, which places great weight on conserving the landscape and

scenic beauty of such designated landscapes. Policy 4 of the Local Plan reiterates this importance. This is a matter of planning judgement and the Site Selection Background Paper explores this matter in more detail.

5.17 The land comprises two main parcels in the single ownership of a consortium of landowners, which have a development agreement in place and have made the land available for the purposes of the Neighbourhood Plan.

5.18 The northern land forms part of approximately 10 hectares of land immediately north of the A350 bypass and extends to the neighbourhood boundary to the north. The site lies within but on the edge of the Cranborne Chase and West Wiltshire Downs AONB. The land was originally allocated for sports pitches by Policy BL6 of the 2003 Local Plan, but this proposal has since been abandoned. There is already a pedestrian bridge over the A350 bypass connecting the land with the large residential area at Shaftesbury Lane, which is also within the AONB.

5.19 The north-eastern land forms part of 28 hectares immediately to the east of the A350 bypass to the south of Letton Park and north of Pimperne Brook and Black Lane. The land falls within the setting of the Cranborne Chase and West Wiltshire Downs AONB but does not lie within it. It can be safely accessed from both the bypass A350/A354 roundabout and by the A354 Salisbury Road and there are opportunities to establish a safe pedestrian and cycling crossing of the bypass to connect the development with Preetz Way.

5.20 Based on the housing land budget, it is anticipated that approximately 400 dwellings can be delivered principally on land to the north east. Both land parcels which make up land allocated by Policy B2 lie within the neighbourhood plan boundary. The allocation will be expected to deliver a wide range of house sizes, types and tenures, comprising open market, affordable⁴ and self-build homes in accordance with national and emerging local planning policies.

5.21 Dorset Council maintains a register of individuals who have expressed an interest in self-build and custom homes and 80 expressions of interest are currently recorded for Blandford Forum⁵. The adopted Local Plan does not make specific policy provision for self-build housing, however the Issues & Options Consultation for the LPR recognised that this had to change to meet the demand in the Area. The policy therefore requires the mix of homes to include a proportion of self-build and custom homes.

5.22 The principle to relocate the existing allotments to accommodate the allocation has already been discussed with the Town Council and negotiations continue with the land interests.

5.23 With the major housing and retail schemes off Shaftesbury Lane approved in the AONB in recent years, the need for the development and its

⁴ Affordable Housing includes affordable housing for rent, starter homes, discounted market sales housing and other affordable routes to home ownership as defined in Annex 2 of the NPPF 2018

⁵ As recorded in NDDC Annual Monitoring Report 2018

dependency on that location and ability to moderate its effects on the AONB can provide sufficient justification.

5.24 And, unlike those schemes, this policy allocation, which establishes a series of key development principles, will ensure that a full package of supporting infrastructure and landscape mitigation measures will be delivered. To that end, the policy requires a comprehensive site masterplan and landscape strategy setting out how any impact on the AONB will be moderated and how the key development principles will be met including access, layout, design, landscaping and surface water management, including how this has been accommodated so as not to adversely affect the delivery or operation of the proposed waste management facility adjoining the site in accordance with Policy 24 of the Bournemouth, Dorset & Poole Waste Plan (adopted December 2019). Applicants are also directed to the CCWWD AONB good practice notes for Dark-Sky compliant lighting on new buildings and refurbishments.⁶

5.25 Importantly, it also requires a planning obligation to be agreed to secure all the infrastructure requirements of the policy, alongside other Local Plan requirements, to deliver a satisfactory scheme in line with Policies 13, 14 and 15 of the Local Plan. The obligation will detail the phasing of onsite delivery of infrastructure as well as financial contributions to other off-site works. Given the housing scheme is enabling the delivery of specified educational development infrastructure, the policy requires that the land is made available for those purposes on receipt of a planning consent, and this can be in the form of an outline or hybrid consent, but simply needs to be prior to the commencement of the housing scheme. In addition, the policy acknowledges that part of the housing land north-east of the town lies beyond the designated neighbourhood area (in Pimperne Parish) and that the planning obligation relates solely to the allocation in this plan. It is not connected with any development proposal that may come forward on land beyond the boundary of B+ Neighbourhood Plan. The site, including land beyond the boundary of B+ Neighbourhood Plan, is currently the subject of a hybrid planning application⁷.

Policy B3 – Employment

(a) Blandford Heights Industrial Estate

Development proposals to enhance the operational effectiveness and appearance of existing employment sites and facilities or to redevelop sites to provide modern commercial premises and flexible workspace opportunities on Blandford Heights Industrial Estate, as shown on the Policies Map Inset B, will be supported.

⁶ Good Practice Note: Good external lighting (link)

⁷ P/OUT/2020/00026 (link)

(b) Land off Shaftesbury Lane

Proposals for the change of use of allocated or established E(g), B2, B8 employment land off Shaftesbury Lane, as shown on the Policies Map Inset B, will be resisted, unless it can be demonstrated that there will be no demand for that use of the land within the plan period. Proposals for new E(g), B2, B8 employment uses on the land will be supported, provided they include measures to satisfactorily mitigate any adverse impacts upon the AONB by way of the details of the design, layout, landscape treatment, materials and typical details of appearance and elevation of buildings and of minimising light spill into the AONB.

(c) Land adjacent to Sunrise Business Park

Development proposals for an extension of Sunrise Business Park, as shown on the Policies Map Inset B, for business (E(g), B2,B8) uses will be supported, provided:

- i. they are made in the form of a comprehensive outline planning application that sets out the key land use components and the residual land available once the needs of the household waste facility (excluded development) are finalised and demonstrate that the proposed uses would not adversely impact on the operation of a waste management centre on adjoining land;**
- ii. employment uses will be compatible with educational or residential uses on adjacent land;**
- iii. any buildings are of a similar scale and height to the existing buildings in the Business Park and of a design to reduce their impact on the skyline and to reduce their visual footprint;**
- iv. along the northern boundary, employment uses will be compatible with the open landscape and AONB and structural landscaping forms a transitional edge;**
- v. they include measures to minimise light spill into the AONB;**
- vi. a positive frontage is created with the A350 which enhances its function as a gateway to the town and minimises the loss of existing hedgerow and any unavoidable loss is made good through new hedgerow planting; and**
- vii. unencumbered access is provided through the allocated waste site to serve employment land to the rear of the site.**

Development proposals that will result in the loss of employment floorspace will be resisted, unless it can be demonstrated that either there will be an increase in jobs as a result of the proposals enabling a higher employment density to be achieved or the use is no longer viable.

5.26 The specification agreed with Dorset Council requires the neighbourhood plan to seek land to be able to accommodate at least 2 hectares and up to 5 hectares of employment land to help mitigate the employment land deficit in Blandford.

5.27 The employment strategy of the neighbourhood plan is twofold:

- i. to seek to identify new employment land to reduce the deficit; and,
- ii. to consider how the plan might act as a catalyst for the regeneration of existing safeguarded employment land which might serve a more sustainable and higher wage local economy by offering a greater proportion of E(g)(i) office and small flexible type workspace - the latter having a higher employment density which will in turn reduce the pressure to find new employment land on the edge of the urban area.

5.28 The Brownfield register confirmed there was a limited supply of suitable previously developed land that could be allocated for employment purposes.

5.29 Land of about 5.5 hectares to the north of Blandford which had previously been considered for employment uses in the B+NP 2031 is now proposed for allocation in the new Waste Plan. And while this use is acknowledged as 'excluded development' for the purposes of neighbourhood planning, the household waste site allocation boundary encompasses approximately 3.5 hectares of land, while the accompanying site assessment indicates that only 2 hectares of land to service the needs of the new facility are required, although this will not be confirmed until details of access/landscaping etc. are agreed. This leaves approximately 3.5 hectares of residual land which could service the employment needs of the town and contribute to the employment land use specification.

5.30 Although the precise layout of the new waste management facility has yet to be published, the policy supports proposals to extend the existing Sunrise Business Park to deliver new employment opportunities for local people in that part of the land which will not be required for the new waste facility. The principle for development within this area has already been established by the existing Sunrise Business Park and the siting of the new waste management facility (see Fig. C).

5.31 The policy does not allocate the site for the new waste management facility as this is 'excluded development' and is unable to do so, nor does it try to undermine the delivery of the facility and requires an application to demonstrate this, in accordance with Policy 24 of the Bournemouth, Dorset & Poole Waste Plan, adopted in December 2019. It simply tries to secure any land that is surplus to requirements for the waste management facility to be for employment purposes. The landowner has confirmed their commitment to providing the land adjacent to Sunrise Business Park for employment purposes.

5.32 In addition, the policy encourages new commercial development of E(g)(i) office-type uses within underutilised space in the existing Blandford Heights Industrial Estate, as a means of growing the local employment base and to balance housing growth. The recent approval of the conversion of the Grainstore at Blandford Heights into flexible work space is a welcome addition to a large unused site and the neighbourhood plan encourages similar proposals to come forward.

5.33 The policy also seeks to protect existing employment sites from other uses outside of permitted development rights. The North Dorset Local Plan Part 1

sets out an overarching policy for economic development. Policy 11 of the Local Plan Part 1 protects employment sites but provides the flexibility for alternative uses where they would provide job opportunities in the knowledge based economy which operate at a higher employment density. In so doing the policy proposes to make the most efficient use of existing employment land. Applicants are also directed to the CCWWD AONB good practice notes for Dark-Sky compliant lighting on new buildings and refurbishments.⁸

5.34 Each of the four main towns in North Dorset has a strategic employment site and collectively they provide 33ha of land. The Local Plan also identified a number of sites for mixed use development near town centres which will enable economic growth for office and non-B class uses.

5.35 Local Plan Part 1 supports a more flexible approach to the range of uses permitted on employment sites. This has led to employment related development of non-B-use classes in addition to B1, B2 and B8 uses. This approach was appropriate when employment land supply was in excess of projected demand. This policy updates this approach to reflect the circumstances now evidenced in the Blandford + Commercial Situation Report.

Policy B4 – Secondary Education

Proposals to upgrade or expand the Blandford School will be supported provided:

- i. safe access by public transport and enhanced pedestrian and cycling infrastructure to contribute to the school's travel planning objectives can be delivered;***
- ii. a safe drop-off and pick-up is available;***
- iii. conflict with the adjoining Leisure Centre and Youth Services uses are avoided; and***
- iv. they sustain and enhance the character and appearance of the Blandford Forum Conservation Area.***

5.36 This policy supports the expansion of The Blandford School, which the Education Authority has confirmed would be required to meet the demand for secondary school places in the town over the Plan Period and is consistent with Policy 14 of the Local Plan Part 1.

5.37 The policy requires proposals for the expansion of the Blandford School to address safe access and to reflect the school's needs and travel requirements. The area around The Blandford School is already congested during school drop-off and pick-up times and the policy seeks to ensure that this is managed in an effective way to accommodate any planned growth.

5.38 The policy also seeks to protect the adjoining uses of the Leisure Centre and the recently re-opened Youth Services immediately adjacent to The Blandford School. The Blandford School lies within the policy coverage of the

⁸ Good Practice Note: Good external lighting (link)

B+ Design Code and any proposal to extend the existing school will need to have regard to the design criteria set out to preserve and enhance this sub-area.

Policy B5 – Community Facilities

The Neighbourhood Plan defines the following properties as community facilities:

- i. The Corn Exchange, The Market Place, Blandford Forum, DT11 7AF***
- ii. The Leisure Centre, Milldown Road, Blandford Forum, DT11 7DB***
- iii. Woodhouse Gardens and Pavilion, The Tabernacle, Blandford Forum, DT11 7UN***
- iv. The Bowling Club, Milldown Road, Blandford Forum, DT11 7DD***
- v. The Football Pavilion, Milldown Road, Blandford Forum, DT11 7DD***
- vi. The Cricket Pavilion, Milldown Road, Blandford Forum, DT11 7DD***
- vii. Larksmead Pavilion, Larksmead, Blandford Forum DT11 7LU***
- viii. The Victorian Garden, Blandford Museum, Blandford Forum, DT11 7HQ***
- ix. Blandford Forum Parish Centre, Blandford Forum, DT11 0YU***
- x. The Skate Park, Stour Park, Blandford St Mary, DT11 9LQ***
- xi. Blandford St Mary Village Hall, St Mary's Hill, Blandford St Mary, DT11 9PX***
- xii. The Old Powerhouse, Hillside, Blandford Forum, Dorset DT11 0PR***

Proposals that will result in either the loss of or cause significant harm to a defined facility will be resisted, unless it can be clearly demonstrated that the operation of the facility, or the on-going delivery of the community value of the facility, is no longer financially viable.

Development proposals to sustain or extend the viable use of existing community facilities, and the development of new facilities, will be supported.

5.39 This policy identifies community facilities that will be protected from unnecessary loss or harm in accordance with Policy 27 of the Local Plan. All of the facilities are classed as Class F2 uses and will therefore require planning permission for any change of use.

5.40 The Neighbourhood Plan Group have been collecting evidence on community facilities within Blandford that are valued by the community and offer a valuable resource to support community life. Whilst some facilities like the Corn Exchange are very well known, others less so and some may, at some time in the future, come under increased financial pressure.

5.41 The purpose of this policy is therefore to secure these assets in the long term for the benefit of the people of Blandford Forum and surrounding parishes and to apply a test of viability, which otherwise would not exist, to give added protection to them.

Policy B6 – Health Provision

Proposals to meet increasing demand by expanding the existing Blandford Group Practice Whitecliff site, the Blandford Clinic and the Blandford Community Hospital will be supported.

All new residential development proposals will only be permitted where they provide or improve the delivery of essential health and/or wellbeing facilities and services required to serve the scale of development proposed.

Development proposals which would have a detrimental effect on, or result in the loss of essential GP facilities and services that meet community needs and support well-being will only be permitted where it can be clearly demonstrated that:

- i. The service or facility is no longer needed; or**
- ii. It is demonstrated that it is no longer practical, desirable or viable to retain them; or**
- iii. The proposals will provide sufficient community benefit to outweigh the loss of the existing facility or service.**

5.42 This policy makes provision to accommodate new or extended GP facilities and facilities that provide health and wellbeing services. The policy reflects Policy 14 and 16 of the adopted Local Plan. A priority for North Dorset is to ensure people, particularly older people, are healthy, active and lead independent lives. Health and well-being facilities are able to provide a range of community services closer to the people they serve and do not require a GP practice setting (for example, the Ryde Health and Wellbeing Centre on the Isle of Wight)

5.43 Meetings with relevant stakeholders in Blandford confirmed GP services are under significant pressure and a new or improved/extended surgery is required. The Dorset Clinical Commissioning Group, who were also party to these discussions, confirmed that such needs will be met principally through improving and expanding existing clinical space, rather than building new GP practices. The Blandford Group Practice has agreed that this can be achieved by expansion of the existing Whitecliff site and the use of satellite health and wellbeing facilities for non-urgent care.

5.44 The Eagle House site, acquired during a recent merger of the Whitecliff Surgery and Eagle House GP Practices to form the Blandford Group Practice, is Grade II listed and therefore carries an additional level of constraint. It will continue to be used by the Blandford Group Practice to meet community needs. The policy therefore supports the extension of the remaining Whitecliff site which may also include the land which is currently occupied by the Blandford Clinic. There are currently no published proposals to expand Blandford Hospital although an improvement project is planned. Provisions therefore continue to be made should this become necessary within the plan period.

5.45 It also requires new residential development proposals to provide or improve essential GP facilities or services, either by way of providing the facilities for a satellite service, such as a multi-use community facility to provide health and wellbeing services that can be delivered outside of a surgery setting, or by contributing to improving existing GP facilities. A

modified Health Background note that supports this provision of the policy is included in the evidence base.

5.46 The policy also seeks to safeguard existing GP provision. The Councils will work positively with local communities to retain, improve or re-use essential facilities and services along with appropriate supporting development which may make such provision economically viable.

Policy B7 – Blandford Forum Town Centre

The Neighbourhood Plan defines the Town Centre Area and the Primary Shopping Area, as shown on the Town Centre Policies Map, for the purpose of managing proposals for retail, leisure, commercial, housing and other forms of development.

Within the Primary Shopping Area, proposals for new Retail floorspace will be supported. Proposals for new E(c) Financial Services, E(g) (i) Offices, C3 Residential and E(e) and F.1 Community Uses on the upper floors of buildings that contribute to the vibrancy and vitality of the town will be supported. Loss of established ground floor Retail floorspace or of an active frontage as a result of a change of use will be resisted.

Outside the Primary Shopping Area but within the Town Centre Area the following will be supported:

- ***Shops and retail outlets (E(a));***
- ***Professional services (E(c));***
- ***Food and drink (E(b))***
- ***Drinking establishments (Use as a public house, wine bar, or drinking establishment (sui generis));***
- ***Hot food and takeaways (Use as a hot food takeaway for the sale of hot food where consumption of that food is mostly undertaken off the premises (sui generis));***
- ***Health and public services (E(e) and F.1);***
- ***Entertainment and leisure (Use as a venue for live music performance, a cinema, a concert hall, a bingo hall, a dance hall (sui generis)) and E(d);***
- ***Business (E(g)); and***
- ***Residential (C3) which does not replace an existing retail or commercial ground floor frontage.***

All proposals in the Town Centre should retain or create, where appropriate to the use, an active street frontage and should seek to enhance the public realm through street planting and other measures intended to enhance the vitality of the Town Centre and to increase the footfall.

All proposals for development, including a change of use, must preserve or enhance the character or appearance of the Conservation Area.

5.47 This policy complements Local Plan Policy 12 by defining the Town Centre Area and a Primary Shopping Area of Blandford Forum. The Local Plan

policy allows for a Neighbourhood Plan to review its frontages and the policy therefore makes such changes. For the purposes of this policy, commercial development is considered to be development which functions/operates in relation to the buying and selling of goods and/or services. This includes, amongst other things, retail and leisure development.

5.48 The policy extends the Primary Shopping Area northwards to include 51/52 Salisbury Street. The extension reflects the importance of trading shops on Salisbury Street and their contribution to the town centre and local economy.

5.49 The policy also establishes the uses that will be allowed in the Town Centre Area as part of a positive strategy for the town centre, as supported in the Retail and Town Centre Report (2018) included in the evidence base. The strategy essentially seeks to maintain the Primary Shopping Area for a shopping function whilst allowing other uses, which can add to attractiveness and vitality. In this respect all proposals should consider how they may enhance the streets and spaces to increase footfall and 'staying' activity⁹.

5.50 It is also recognised that residential accommodation can lead to increased footfall and vitality, however such uses are more suited to areas outside of the Primary Shopping Area, and the policy therefore also seeks to retain its retail frontages and encourage residential accommodation on upper floors rather than ground floors. The policy does recognise, however, that there are some areas within the Primary Shopping Area that do already contain residential dwellings at ground floor level, and so will support residential development which does not replace an existing retail or commercial ground floor frontage.

5.51 This approach is entirely in line with the Grimsey Review 2 (July 2018)¹⁰ conclusions which highlight the need to reshape town centres into community hubs which incorporate health, housing, arts, education, entertainment, leisure, business/office space, as well as some shops, while developing a unique selling proposition.

5.52 In addition to these proposals, and as another regeneration initiative, the Town Council is keen to address the improvement of traffic flow within the town centre. However, it recognises that such proposals require time to debate with traders and other organisations in the town, and the highways authority, and that a Neighbourhood Plan is not the correct platform for such debate. This plan does not therefore make such proposals but informs local people that these discussions are ongoing.

Policy B8 – Green Infrastructure Network

The Neighbourhood Plan designates a Green Infrastructure Network, as shown on the Green Infrastructure Policies Map, for the purpose of promoting

⁹ [The Pedestrian Pound](#): The business case for better streets and spaces. (Living Streets 2014)

¹⁰ The Grimsey Review 2 [Report](#) (2018)

sustainable movement and ecological connectivity through the town and neighbouring parishes. The Network comprises Local Green Spaces, informal open spaces, allotments, playing fields, off-street footpaths/cycleways, children's play areas, woodland and land of biodiversity value.

Development proposals that lie within or adjoining the Network are required to have full regard to maintaining and improving the Network, including delivering a net gain to general biodiversity assets, where possible, in the design of their layouts, landscaping schemes and public open space provisions.

Proposals that will lead to the loss of land lying within the Network and that will undermine its integrity will be resisted. Development proposals that will lead to the extension of the Network will be supported, provided they are consistent with all other relevant policies of the development plan.

5.53 This policy supports Local Plan Policy 15 on Green Infrastructure by defining a network of green infrastructure assets in and around Blandford Forum, Blandford St Mary and Bryanston as a means of promoting walking, cycling and recreation and of improving local biodiversity through connecting habitats. It continues to promote walking and cycling routes identified in the North and North East Dorset Transport Study (see evidence base) and supports enhanced links with the land to the north to ensure the integration of these areas to the town south of the bypass.

5.54 The policy requires that all development proposals that lie within the Network, or that adjoin it, should consider how they may improve it, or at the very least do not undermine its integrity of connecting spaces and habitats. This may mean that scheme layouts, access points, landscape schemes and amenity spaces are designed to contribute to the effectiveness of the Network where possible and without undermining other planning policy objectives. In some cases, proposals will enable the creation of new green infrastructure assets that extend the benefits of the Network. They will be supported provided they are appropriate in other respects.

5.55 The spine of the network is provided by the Trailway running along a former railway line from Sturminster Newton north of Blandford Forum to Spetisbury to the south but also includes the major spaces of the River Stour corridor, the Bryanston Estate, Stour Meadows and the Milldown. Although the majority of these features are physically attached to enable habitat connectivity, some features of the Network are not. This does not devalue their integral biodiversity or recreational value and at some point in the future an opportunity may arise to achieve similar connectivity. The policy passed examination of the Blandford + Neighbourhood Plan 2031 and no changes have been made in this version. It is considered the policy intention remains in accordance with the provisions of the Environment Act 2021.

Policy B9 – Local Green Spaces

The Neighbourhood Plan designates Local Green Spaces in the locations shown on the Green Infrastructure Policy Map and subsequent LGS Inset Maps.

Proposals for development in a Local Green Space will only be supported in exceptional circumstances.

Blandford Forum

- 1. Diamond Way Amenity Area**
- 2. Westbury Way**
- 3. Davies Gardens**
- 4. Badbury Heights Open Spaces**
- 5. Land adjacent the Leisure Centre**
- 6. The Trailway**
- 7. Overton Walk**

Blandford St Mary

- 8. Coppice and Badger Sett**
- 9. Bryanston Hills**

Bryanston

- 10. Between the Cliff and Forum View at the entrance to the village, locally known as the Island**
- 11. The Telephone Box and surrounding area at The Cliff**

5.56 This policy designates a series of Local Green Spaces in accordance with paragraphs 99 - 100 of the NPPF and with Local Plan Policy 15 on Green Infrastructure. A designation has the policy effect of the equivalence of the Green Belt when determining planning applications located within a designated Local Green Space. Hence, the policy resists all development proposals that will undermine the essential character of designated areas, unless there are very special circumstances as set out in NPPF paragraph 101, to justify why consent should be granted.

5.57 A review of all open land within and adjoining each settlement has been completed, informed by the qualifying criteria of paragraph 100 of the NPPF. The land that is considered to meet those criteria and is therefore worthy of designation is shown on the Policies Map. 29 sites were originally reviewed (see 'Local Green Spaces Working Group Report' in evidence base). A review of Important Open Wooded Areas (IOWA) has since been undertaken, as this designation will no longer apply following the production of the Dorset Council Local Plan. A further 3 sites were identified as part of this review. Saved Policy 1.9 of the 2003 North Dorset Local Plan continues to apply until a new policy from the emerging Dorset Council Local Plan or a fuller review of the B+ NP takes precedence over saved Policy 1.9.

5.58 The policy passed examination, subject to the removal of Crown Meadows, in the examination of the Blandford + Neighbourhood Plan 2031. A full description and justification for each site is included in the Local Green Spaces Study (2018) in the evidence base.

Policy B10 – Blandford + Design Code

Development proposals will be supported provided they have full regard to the Blandford + Design Code (Appendix B) as relevant to their location, scale and nature.

5.60 This policy responds to the Government's encouragement that neighbourhood plans should set out local design guidance and codes by setting out specific local requirements as provided for by Local Plan Policy 24.

5.61 The Code has brought together in one place a range of guidance published but only some of which has already been adopted as supplementary planning guidance for development management purposes. The Code is an integral part of these the policies but is extensive in distinguishing the different areas of the town and its two neighbouring parishes and is therefore published as Appendix B to the Neighbourhood Plan. To be clear therefore, as the Code has been prepared and is being consulted on as part of the Plan, its content carries full weight of the development plan in decision making and is not subordinate or supplementary planning guidance carrying lesser weight. The Code as been attached to this Plan in full as Appendix B.

5.62 Applicants will therefore be expected to have acknowledged, understood and responded positively to the Code as relevant to the location, scale and nature of their proposals. Where a proposals does not seek to follow the requirements of the Code then the applicant will be obliged to justify why an exception should be made.

Blandford Forum

5.63 Blandford Forum is best known as one of the finest examples of a Georgian Market Town in Britain. Its centre was re-built after a series of disastrous fires which completely destroyed the town in 1731. The lovely, red-brick houses are complemented by two stone-built buildings in The Market Place itself – the Corn Exchange complex and the Parish Church. Over the centuries since then the town has continued to expand and the settlement pattern saw the town grow to the north up the chalk escarpment.

5.64 Blandford Forum has developed over centuries, starting from the centre of town, where buildings are older, to the outskirts where building continues. Many styles and trends are incorporated in the buildings, although the town is famous for the excellent examples of Georgian architecture. Heritage led regeneration such as the refurbishment of the Corn Exchange, will help to secure this status. The Dorset Historic Towns Study (2011) identified the Medieval Town and Salisbury Road areas as highly sensitive to large scale development and Historic England have confirmed the Conservation Area as a whole, is on the 'At Risk Register' in addition to a number of 'listed buildings'.

5.65 In 2015, the local community formed the Blandford Heritage Group. The Heritage Group is a Blandford Forum Town Team sub-group comprising

NDDC's Conservation Officer, the Town Museum and Civic Society members. The group's initial aim was to highlight and promote the unique nature of the Town and surrounding Conservation Area and ensure that the community's wishes to maintain the town's architecture, halt its steady deterioration and identify areas where improvements could be implemented.

5.66 At the time, Historic England advised that there may be an opportunity for the Heritage Group to undertake a Conservation Area Appraisal (CAA). This in turn will help the production of a Conservation Area Management Plan (CAMP) with the support of Dorset Council and Historic England. Guidance on how this could be achieved was provided by NDDC's Conservation Officer in November 2015 and a Management Brief produced in 2016. The Heritage Group's initial priority is Blandford Forum Town Centre. The group have provided a detailed document, the Blandford Heritage Group Towards a Conservation Area Appraisal and Management Plan, on how it will achieve this, and a draft Conservation Area Appraisal is included in the evidence base.

Blandford St Mary

5.67 Blandford St Mary is a small but varied community lying south of the River Stour and the large connecting public greenspace of Stour Meadows. The village, which has its own identity, includes an active primary school, an annual horticultural and craft fayre, various groups which meet regularly in and around the village in residents' homes and a talented group of artists who regularly exhibit as part of the bi-annual Dorset Art Week. As well as a variety of old and distinguished properties dating back a century or more, there are many relatively new residential properties, together with the busy commercial area at Stour Park in which is located Tesco, Homebase and a small number of professional services and IT companies. Blandford St Mary is home to the famous Hall & Woodhouse Brewery, a significant local employer.

5.68 Present day Blandford St Mary is adjacent to the town of Blandford Forum, but wishes to retain its identity. The village has three distinct areas. The older area of Lower Blandford St Mary lies mainly to the south east of the Blandford bypass. The main part of the village, south west of Bournemouth Road, is made up of mainly 1980s and the 1990s housing developments.

5.69 The third distinct area of the village, lies within the Blandford, Blandford St Mary and Bryanston Conservation Area, and includes the Stour Meadows, Brewery complex and the area around the Stour Inn with a village green in front. The latter area forms part of the historic context to the important entrance to Blandford Forum, over the River Stour, the main entrance to Bryanston School and to Bryanston village.

5.70 Whilst the Dorset Historic Towns Study identified this area as having medium sensitivity to change, this sensitivity varies throughout the area. The Hall and Woodhouse Brewery building is the dominating feature of the area and holds the greatest architectural interest and is considered to be of regional significance. The Brewery site and the river meadows of Stour Park to the north offer a considerable and underutilised 'green infrastructure' asset in

terms of offering a 'shared focus' with the historic town centre to the north of the river.

Bryanston

5.71 Bryanston is a small parish, full of history, which extends over 715 hectares of mainly agricultural land lying to the west of Blandford and the River Stour between which is 'The Cliff', an area of wooded hillside within the Bryanston Conservation Area. Bryanston village itself is spread out amongst the rolling Dorset fields and almost entirely with the Dorset AONB. The countryside areas still bear traces of historic lynchets and ancient field systems. Dominating the village today is the large house and grounds, once the home of the Portman family, which is now owned by Bryanston School. 'Old Bryanston' village consists of picturesque and historic Portman Estate cottages, clustered below the Bryanston Club. A second area of the village, which runs along the Cliff, consists of former Council-owned housing together with some more modern detached houses. A third part of the village has historic cottages built along a short portion of Dorchester Hill, close to Blandford town, and a fourth area is mainly former Portman Estate cottages surrounding the Kennels.

5.72 A significant proportion of the parish (537 hectares - 75%) is in the ownership of Bryanston (RFE) Ltd and a substantial portion of the remainder is owned by Bryanston School. Bryanston (RFE) Ltd rents out two farms and 43 residential dwellings.

5.73 Former council housing (Forum View) (now owned/administered by Sovereign Housing) runs along 'the Cliff', with a substantial number of the properties now in private hands. 'Old Bryanston' village clustered below the Bryanston Club consists of old Portman estate cottages, with some in private hands and most rented out by Bryanston (RFE) Ltd. A third segment of the village consists of cottages, mainly privately owned, along a short portion of Dorchester Hill close to Blandford St Mary.

5.74 The 'Cliff' (Bryanston Woods) rises steeply above the River Stour and meadows and dominates views to the west from the town; this is the most significant aspect of the setting of this sub-area. The area has been described in the Insall Report (p17 and p67) in the following manner:

"Sweeping pastures stretch up from the river beyond (Blandford bridge) from whose far bank rise steeply and gloriously Bryanston Woods. Bryanston Woods are a national heritage which must never be destroyed".

The Cliff forms a perfect backdrop to the historic setting of Blandford Forum when viewed from the east. Development should not mask important views of this wooded ridge.

Policy B11 – Local Heritage Assets

The Neighbourhood Plan identifies Local Heritage Assets, as listed below and shown on the main Policies Map and Local Heritage Assets Inset Maps, by way of their local architectural and historic value. Proposals that will result in harm to, or unnecessary loss of, a Local Heritage Asset, will be resisted, unless

it can be demonstrated that there is a public benefit that outweighs the harm or loss.

Blandford Forum

- 1. Parish Centre, The Tabernacle, DT11 7DW**
- 2. Methodist Church, The Close, DT11 7HA**
- 3. Post Office, The Plocks, DT11 7DN**
- 4. 1 The Tabernacle, DT11 7DW**
- 5. 43b East Street DT11 7DX**
- 6. Gulley Covers in the Market Place and Sheep Market Hill, DT11 7AH/EB/DP**
- 7. Poetic Paving, Market Place, DT11 7AH/EB**
- 8. 13 West Street, DT11 7AW**
- 9. Riverside House, West Street, DT11 7AW**
- 10. United Reformed Church and halls, Whitecliff Mill Street, DT11 7PY**
- 11. 35 Salisbury Street, DT11 7AY**
- 12. 34 Salisbury Street, DT11 7PR**
- 13. 59 Salisbury Street, DT11 7DX**
- 14. 1 Dorset Street, DT11 7 RG**
- 15. 23 Dorset Street, DT11 7RG**
- 16. 59 Dorset Street, DT11 7RG**
- 17. 21-35 Bryanston Street, DT11 7AZ**
- 18. 48-58 Harewood Place, Shorts Lane, DT11 7BB**
- 19. Damory Street boundary, including former secondary school archway, burial ground, The Old School House and former infants school, DT11 7RH**
- 20. 12 Damory Street, DT11 7ET**
- 21. Badger House, Salisbury Road, DT11 7QD**
- 22. Darcy Court (archway, coach house and flats 1, 3 and 4-7), Salisbury Road, DT11 7HJ**
- 23. Barnes Homes, Salisbury Road, DT11 7HU**
- 24. Damory House, Salisbury Road, DT11 7HU**
- 25. 66-76 Salisbury Road, DT11 7LN**
- 26. Our Lady of Lourds & St Cecelia Catholic Church, Whitecliff Mill Street, DT11 7BN**
- 27. Wall, 29 Park Road to Whitecliff Gardens, Whitecliff Mill Street DT11 7BP**
- 28. 19-23 Park Road, DT11 7BX**
- 29. Forum Centre, Park Road, DT11 7BX**
- 30. 1-3 Milldown Road, DT11 7DB**
- 31. Blandford Cottage Hospital, Milldown Road, DT11 7DD**
- 32. Mortain Bridge, Marsh & Ham to Stour Meadows**
- 33. Preetz Bridge, Langton to Stour Meadows**
- 34. Railway Arches, Langton Meadows**
- 35. Langton Garage, Langton Road, DT11 7EN**
- 36. Railway footbridge & Station Master's House, DT11 7RJ/RL?**
- 37. North Dorset Trailway within Blandford boundary**
- 38. Former Railway Hotel, Oakfield Street, DT11 7EX**

- 39. 9 Damory Court Street, DT11 7QX
- 40. 6-8 Old Oak Gardens, Damory Court Street, DT11 7RW
- 41. 6 Albert Street, DT11 7HY
- 42. Victoria House, Victoria Road, DT11 7JP
- 43. 3-29 Kings Road, DT11 7LD
- 44. 32 Kings Road, DT11 7LB
- 45. Milldown Nature Reserve
- 46. Old Castleman House, Fairfield Bungalows, DT11 7HS
- 47. 1-21 Fairfield Bungalows including Fairfield Lodge, DT11 7HN
- 48. The Milldown (including The Farthings, Squirrels Leap, April Cottage, Maple Tree, Hunters Moon, Deep Meadows, Willowdene, Milldown Lodge & Streatham), DT11 7SH

Bryanston

- 49. 43 – 47 & 48 – 50 New Road and rear outbuildings, DT11 0PT
- 50. 51 – 53 New Road, DT11 0DR
- 51. 61 New Road (Cliff Lodge), DT11 0PP
- 52. 59 – 60 New Road, DT11 0DR
- 53. 57 – 58 New Road, DT11 0DR
- 54. 33 – 34 The Cliff, DT11 0PP
- 55. Flint boundary wall to 33 – 34 The Cliff, DT11 0PP
- 56. 35 – 38 The Cliff, DT11 0PP
- 57. 62 – 67 The Cliff, DT11 0PP
- 58. 68 – 69 The Cliff, DT11 0PP
- 59. K6 Telephone Box, The Cliff, DT11 0PP
- 60. Little Monington, The Cliff, DT11 0PP
- 61. Phillips Fabrications, The Garage, The Cliff, DT11 0PP
- 62. Bryanston Club (The Old Powerhouse), DT11 0PR
- 63. Nos. 1 and woodstore, 3 – 7 Bryanston, DT11 0PR
- 64. The Old Forge, DT11 0PR
- 65. Diary Farm, 14 & 14A Walnut Avenue, DT11 0PT
- 66. 15, 16 & 18 Walnut Avenue, DT11 0PT
- 67. School wall at north side of New Road
- 68. 19 Walnut Avenue (Old Park Cottage and outbuildings), DT11 0PT
- 69. Fields at the rear of Old Park Cottage
- 70. 20 – 22 Higher Barn Cottages, Walnut Avenue, DT11 0DX
- 71. Keepers Cottage (formerly Broadley Cottage, New Road, DT11 0DR
- 72. 25 – 26 The Kennels; and 41 – 42 The Kennels, New Road, DT11 0DT
- 73. Diana Lodge, DT11 0DT
- 74. The Kennels, associated cottages (38 – 40) and original stables, DT11 0DT
- 75. Quarleston House and Cottage and Old Barn, Quarleston, DT11 0DT
- 76. Lower Bryanston Farm, and original outbuildings, Fair Mile Road, DT11 0LS

5.75 The policy identifies a number of local (non-designated) heritage assets in the neighbourhood area that, whilst not statutorily listed, have some local heritage value for the purposes of applying Local Plan Policy 5 on the historic

environment and §203 & §204 of the NPPF. The assets have been identified from a number of sources and have been evaluated against the criteria advocated by Historic England in its 2019 guidance note. A description of the value of each asset is provided in the Local Heritage Assets Report included in the evidence base supporting the Plan. Dorset Council has its own Local Heritage List project, which shares the same evaluation criteria¹¹. It is expected that the assets identified in this policy will be added to the Dorset Local Heritage List in due course. In the meantime, the policy provides certainty to applicants and the local community.

¹¹ The Dorset Local Heritage List project ([link](#))

Policy B12 – The River Stour Meadows

The River Stour Meadows represents an area of predominantly open land within the Blandford Forum Conservation Area that plays an important role in defining the historic setting of Blandford Forum and 'The Cliff' within the wider landscape.

Within the land defined on the Policies Map Inset B, development proposals will only be supported where it can be demonstrated that they will sustain and enhance the character and appearance of the River Stour Meadow and they will secure an opportunity for public access and enjoyment to the River Stour Meadows or where they are intended to replace a detrimental feature.

Proposals including proposed changes of use that are likely to have an adverse impact on the character or appearance of the meadows or harm views towards or from Blandford Forum or 'The Cliff' will not be supported.

5.76 The River Stour Meadows (known locally as Crown Meadows that forms the western part of the area and Stour Meadows that forms the eastern part of the area) is an undeveloped area of land of significant historic and landscape importance and a defining feature in the setting of Blandford Forum.

5.77 The open parkland setting of Crown Meadows is of significant local importance both in terms of its historical associations with the development of the town and its surroundings and individually. Whilst development has taken place within the Bryanston House parklands related to its use as a school, care has been taken to contain development. The draft Conservation Area Appraisal, published in the evidence base, recognises that the Crown Meadows is of vital importance in preserving the undeveloped setting of the town of Blandford.

5.78 The area has been described in the Insall Report (p35) in the following manner:

"The intensely urban quality of the town centre is marvelously enhanced by the rural beauty of Bryanston Park, the River Stour and Bryanston Woods. The river is one of Blandford's greatest but most underplayed assets . . . this is a delightful area full of opportunities for improvement and public enjoyment".

5.79 During the 17th century, the meadows were a busier pastoral landscape than they are today, crossed with lanes and divided by hedgerow enclosures. The open parkland setting which is largely visible today was created in the 18th century.

5.80 In the Victorian period additions to the Deer Park Stables, a group of buildings which lie centrally, created Deer Park Farm. During the 1920s and 30s, an area within the southern part of the Park was used as a football ground. It was at this time that almost all of the Portman lands in Dorset, including Bryanston Park, passed to the Crown Estate Commissioners in lieu of death duties.

5.81 Today, the south of the Park remains undeveloped and its 18th-century boundary remains intact having been incorporated into the Second World War defences. The north of the Deer Park, however, has been encroached upon significantly since the 1960s by developments on Milldown Road and the buildings and sports fields of the Blandford School and Milldown Primary School.

5.82 Views into and within the meadows maintain the sense of a designed landscape and the area is highly valued by its residents, visitors and historians. As well as being a defining feature in the setting of Blandford Forum, it has itself a distinct historical character as described in the Insall Report and the Crown Meadows Background Report (NDDC, 2014), confirming the preservation of the character the setting provides, must inform and guide any management of change.

5.83 The loss of views, both in terms of the relatively open vistas from key vantage points and the blocking of more limited views from within the built-up area would reduce the sense of visual and physical connectivity, which exists at present. Development could also reduce the historic rural character of the open parkland and views over the meadows to and from 'The Cliff'. The draft version of the Blandford Conservation Area Appraisal also recognises that views which enable an appreciation of the landscaped framework within which the town sits, include that of Crown Meadows and Stour Meadows, and that such views enable an understanding of the town's historic development and are considered important contributors to the special interest of the Conservation Area.

Policy B13 – Tourism

Proposals for the development of, or change of use to, a C1 bed and breakfast, hotel or hostel use within the defined settlement boundaries of Blandford Forum and Blandford St Mary, or within the observed built up area of Bryanston village will be supported, provided the scheme has sufficient off-street car parking spaces and has regard to the amenities of adjoining residential properties.

Proposals that will result in the loss of an existing tourist use will be resisted, unless it can be demonstrated that its continued use is no longer viable. Proposals to expand an existing tourist use will be supported, providing they are located in or adjoin the defined Town Centre Area and any impact on local amenity can be satisfactorily mitigated.

5.84 The existing tourism accommodation sites in the area that currently successfully contribute to local tourism include Inside Park caravan and camping facility and existing hotel and bed and breakfasts. This policy is intended to support the growth of the tourist economy, protect existing tourist uses, and support development of new accommodation to contribute towards it by giving specific encouragement for the provision of new hotel, hostel and bed and breakfast accommodation.

5.85 This may either be by way of a change of use of an existing house or by new development, provided it is located within the existing settlements. However, it requires proposals to ensure they are suited to their location, in which case it distinguishes between the provision of new accommodation within the settlements and the provision of new tourism destination uses, which are only appropriate in or adjoining the town centre. Policy 31 of the Local Plan provides the basis for considering tourism proposals beyond the three settlements in the countryside.

5.86 The Joint Retail and Commercial Leisure Study March 2018 recognises that the North Dorset area is an important tourist destination and that there may be opportunities for growth in this sector, as described in the Local Tourism report included in the evidence base. Hence the policy seeks to encourage investment in the tourism offer of the area, both in terms of tourist attractions (to be located in the town centre) and the supply of tourist accommodation (within the settlement boundaries and observed built-up area).

6. IMPLEMENTATION

Introduction

6.1 The policies of the Blandford + Neighbourhood Plan 2033 will be implemented through the determination of planning applications and through the investment of financial contributions in supporting infrastructure projects.

Development Management

6.2 Most of the policies contained in the Plan will be delivered by landowners and developers. In preparing this plan, care has been taken to ensure, as far as possible, that the policies are achievable.

6.3 Whilst the Local Planning Authority will be responsible for development management, the Town and Parish Councils will also use the Plan to frame its representations on submitted planning applications. It will also work with Dorset Council to monitor the progress of sites coming forward for development.

Infrastructure

6.4 The Town and Parish Councils propose that the priorities for investment of future Community Infrastructure Levy, and/or S106 funding received by the local planning authority are:

- i. The Old Powerhouse, Bryanston
- ii. Refurbishment of Corn Exchange
- iii. Supporting health & wellbeing facilities across the Blandford + area.
- iv. Blandford Town Centre enhancements
- v. Public toilets provision/upgrading
- vi. Additional and new provision of sports pitches
- vii. Bus interchange Blandford/town centre stop improvements
- viii. Allotments
- ix. Blandford + public artwork (sculpture, painting, mosaic)
- x. Retention and upgrading of Leisure Centre, Blandford
- xi. Blandford cycleway schemes
- xii. Blandford hard and soft landscaping
- xiii. Extension to trailway networking

6.5 This series of local infrastructure projects has been identified in the North Dorset Infrastructure Delivery Plan 2014 (IDP) and will be prioritised for investment from the potential future Dorset Community Infrastructure Levy (CIL) and/or S106 contributions. The list does not include the infrastructure projects that are proposed to be delivered through site specific policies in this Neighbourhood Plan.

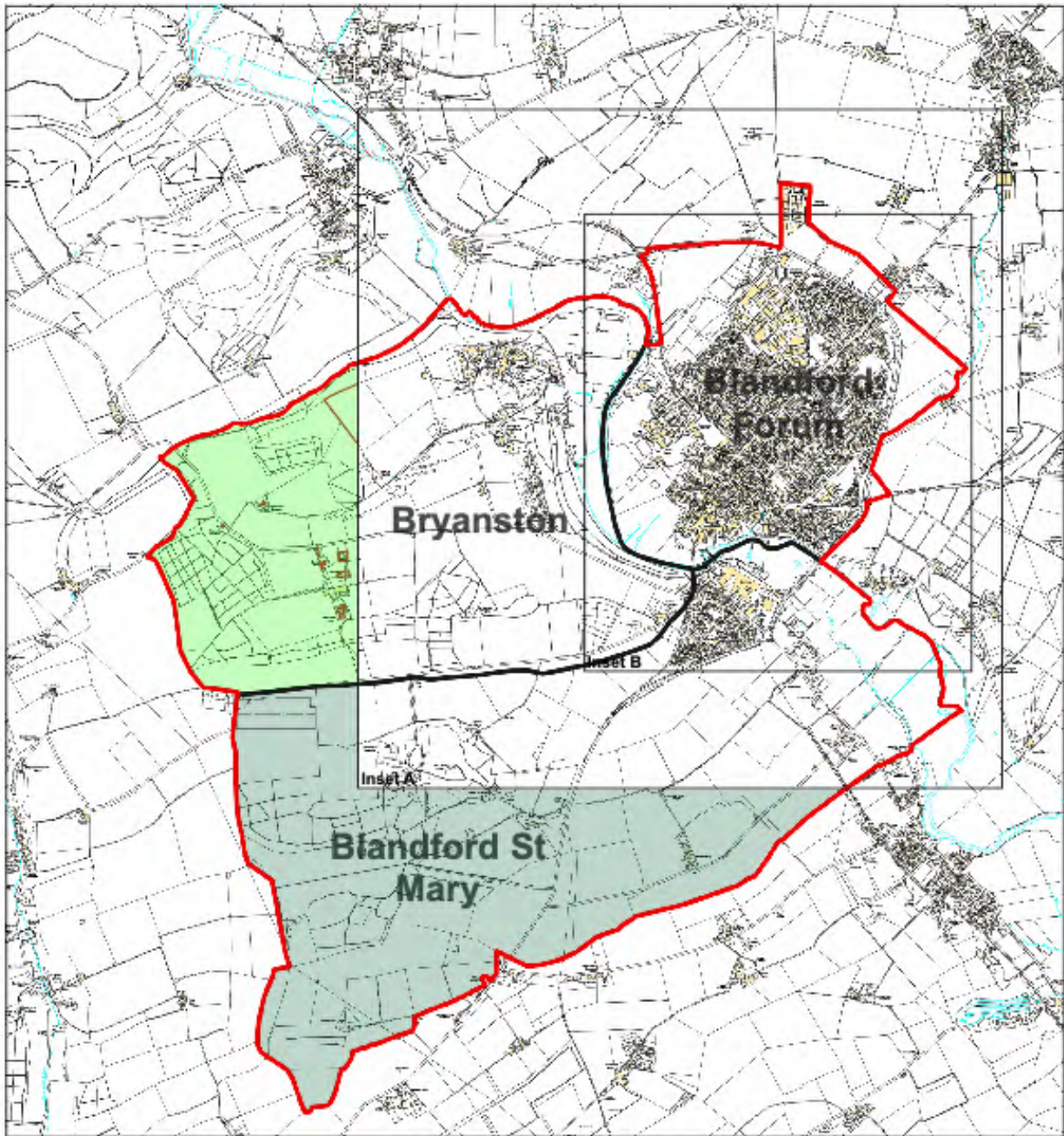
6.6 In addition to this list the position set out in the IDP in relation to secondary school provision is now out of date. The proposals contained in this Neighbourhood Plan will result in an increase of secondary school places demand, which the Education Authority, has confirmed would be

accommodated by an extension to the existing Blandford School. Developer contributions will be required for this level of expansion and the Town Council will therefore take this matter forward with Dorset Council as part of a review of the IDP, which will take place as part of the Dorset Council Local Plan.

6.7 The CIL will potentially supplement S106 agreement financial contributions during the plan period, although whether a CIL charging schedule covering North Dorset is progressed, adopted and implemented will be for Dorset Council to decide. At least 25% of the levy collected from development in the Blandford + designated area will be invested in the Blandford + designated area and prioritised as per the Memorandum of Understanding between the Councils. The Memorandum of Understanding provides the local community with an indication of the priorities for investing the fund to improve local infrastructure as a result of new development in the plan area.

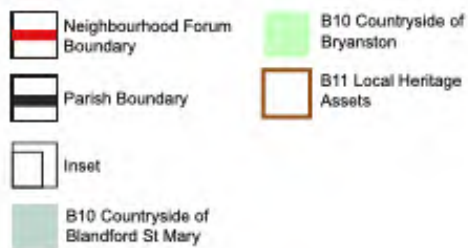
6.8 In addition, other policies of the Plan require planning obligations to be entered into as part of planning consents to finance and deliver specific infrastructure projects relating to the development scheme in order to make the scheme satisfactory.

POLICY MAPS

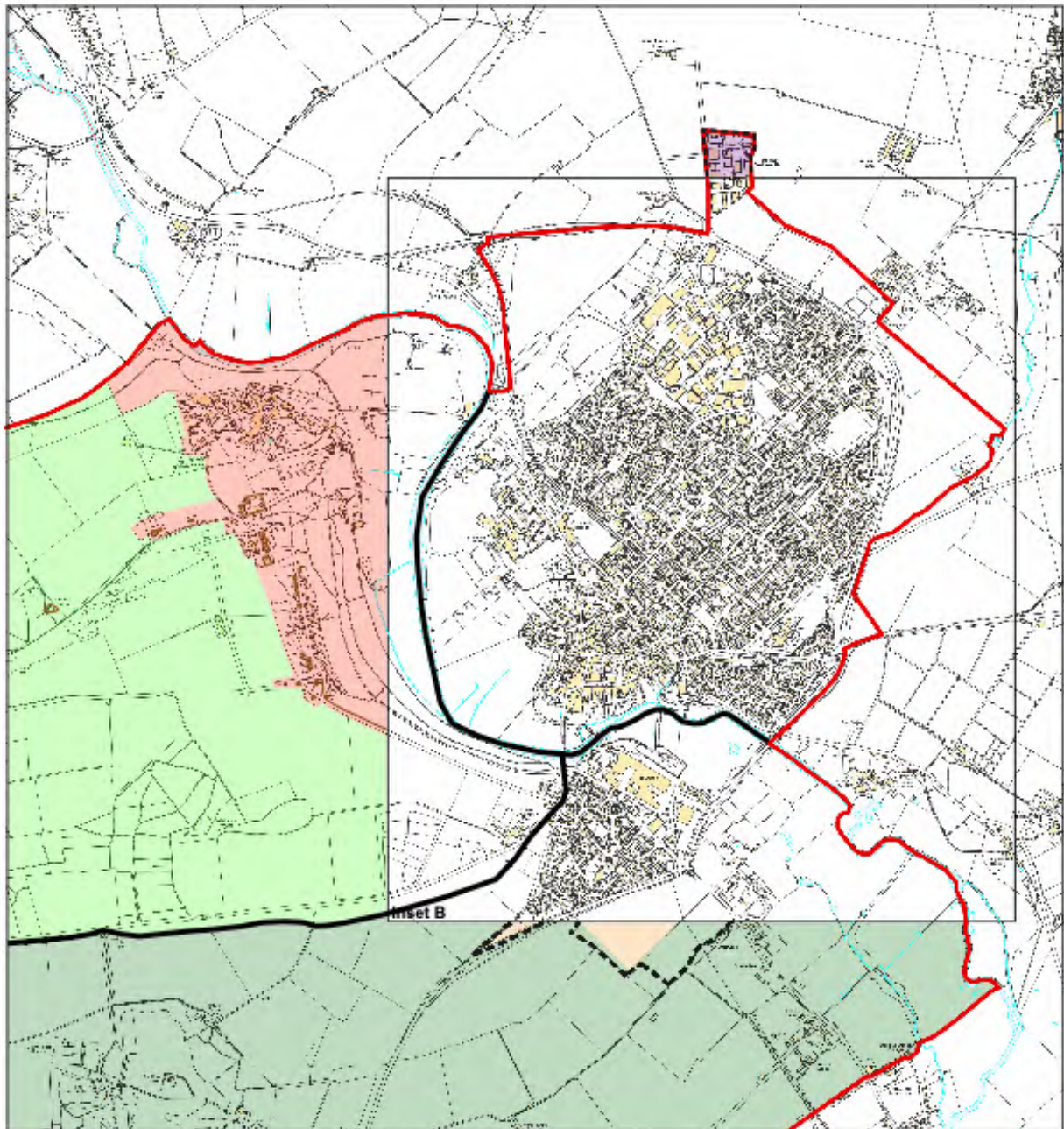


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Blandford Plus Modified Neighbourhood Plan Policies Map - March 2023



POLICIES MAP – INSET A

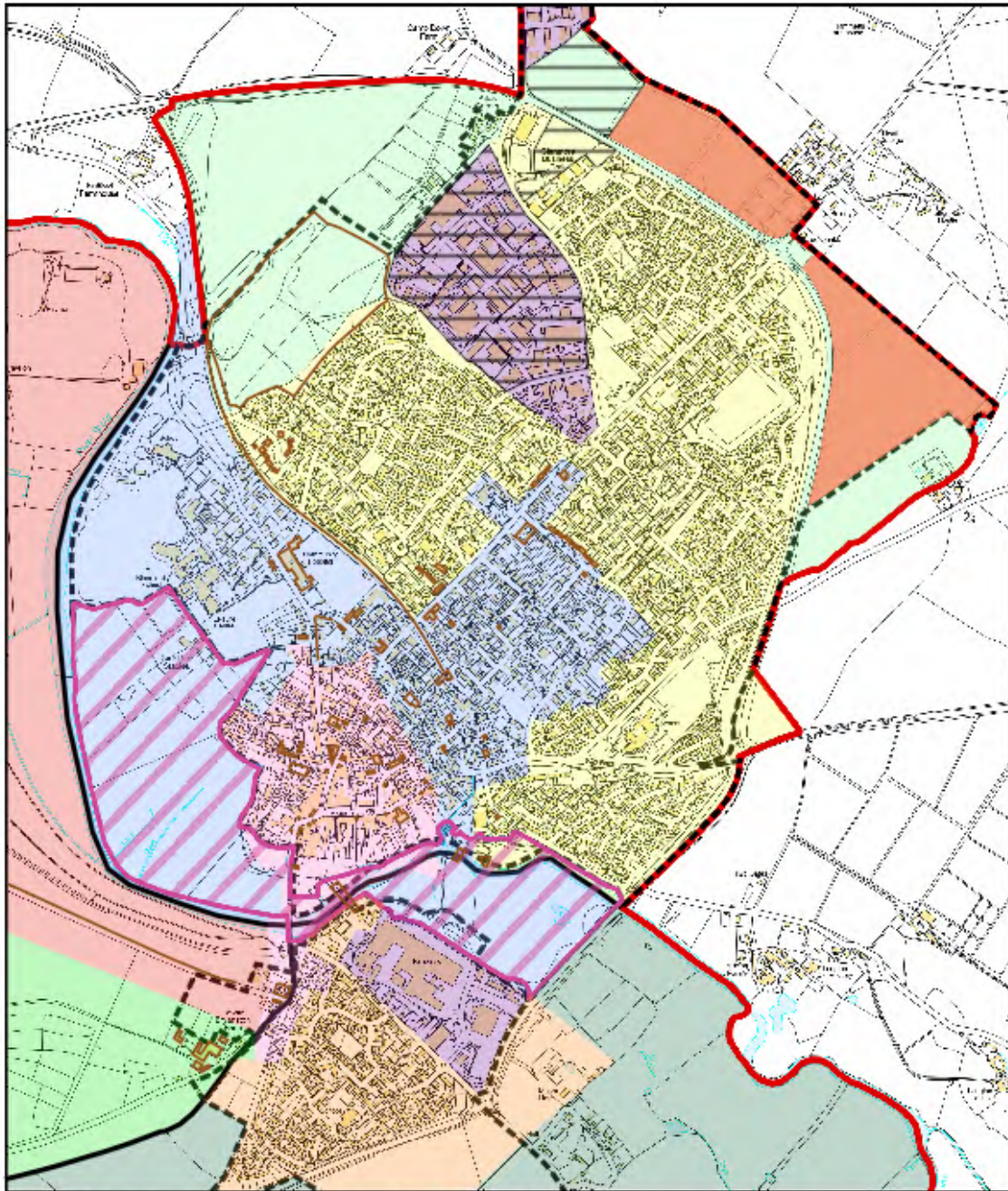


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**Blandford Plus Modified Neighbourhood Plan
Policies Map - Inset A - March 2023**

- | | | |
|--|--|--|
|  Neighbourhood Forum Boundary |  B10 Industrial |  B10 Countryside of Bryanston |
|  Parish Boundary |  B10 Countryside of Blandford St Mary |  B11 Local Heritage Assets |
|  Inset |  B10 Blandford St Mary Residential | |
|  B1 Settlement Boundary |  B10 Bryanston Conservation Area | |

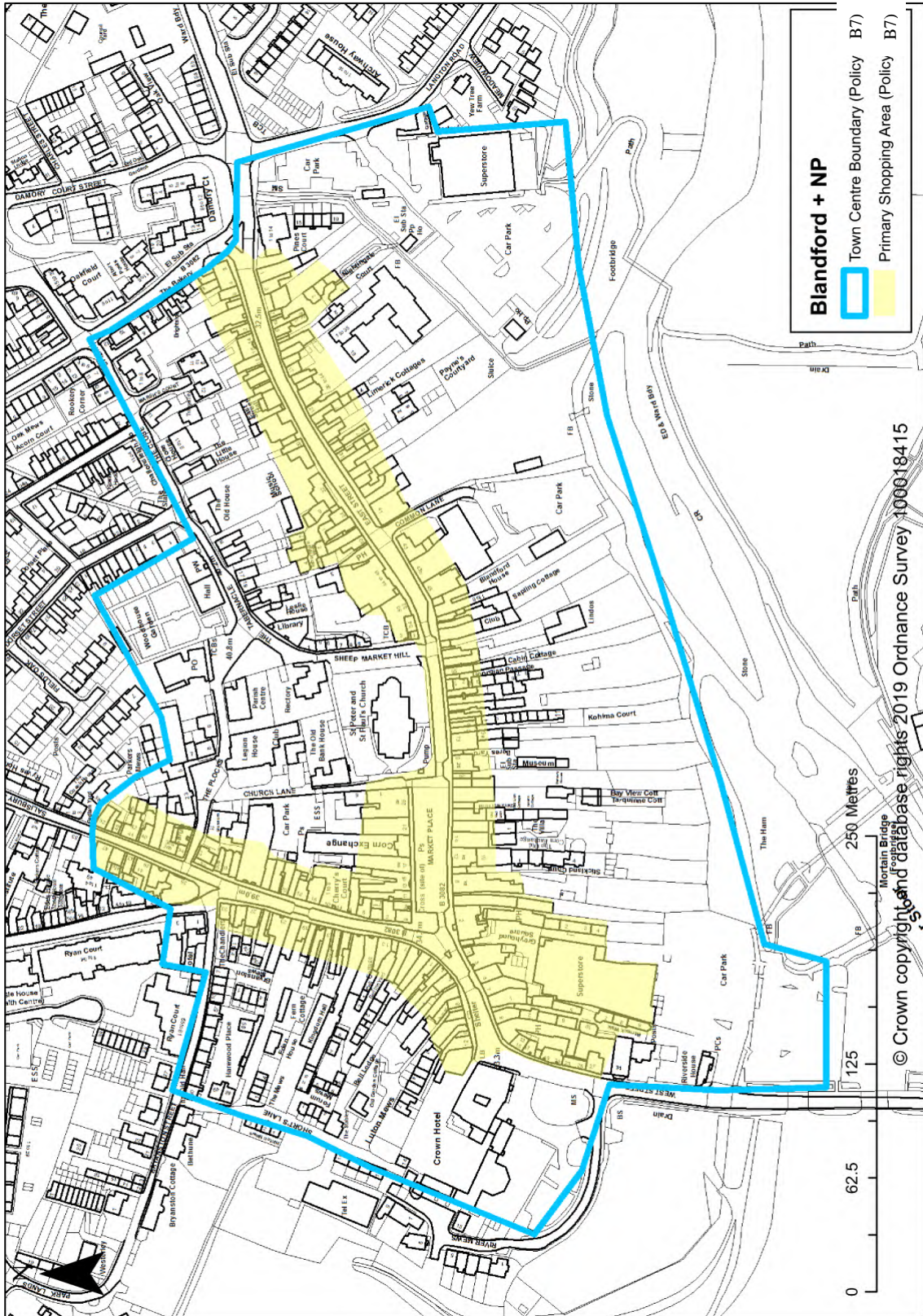
POLICIES MAP – INSET B TOWN CENTRE POLICIES MAP



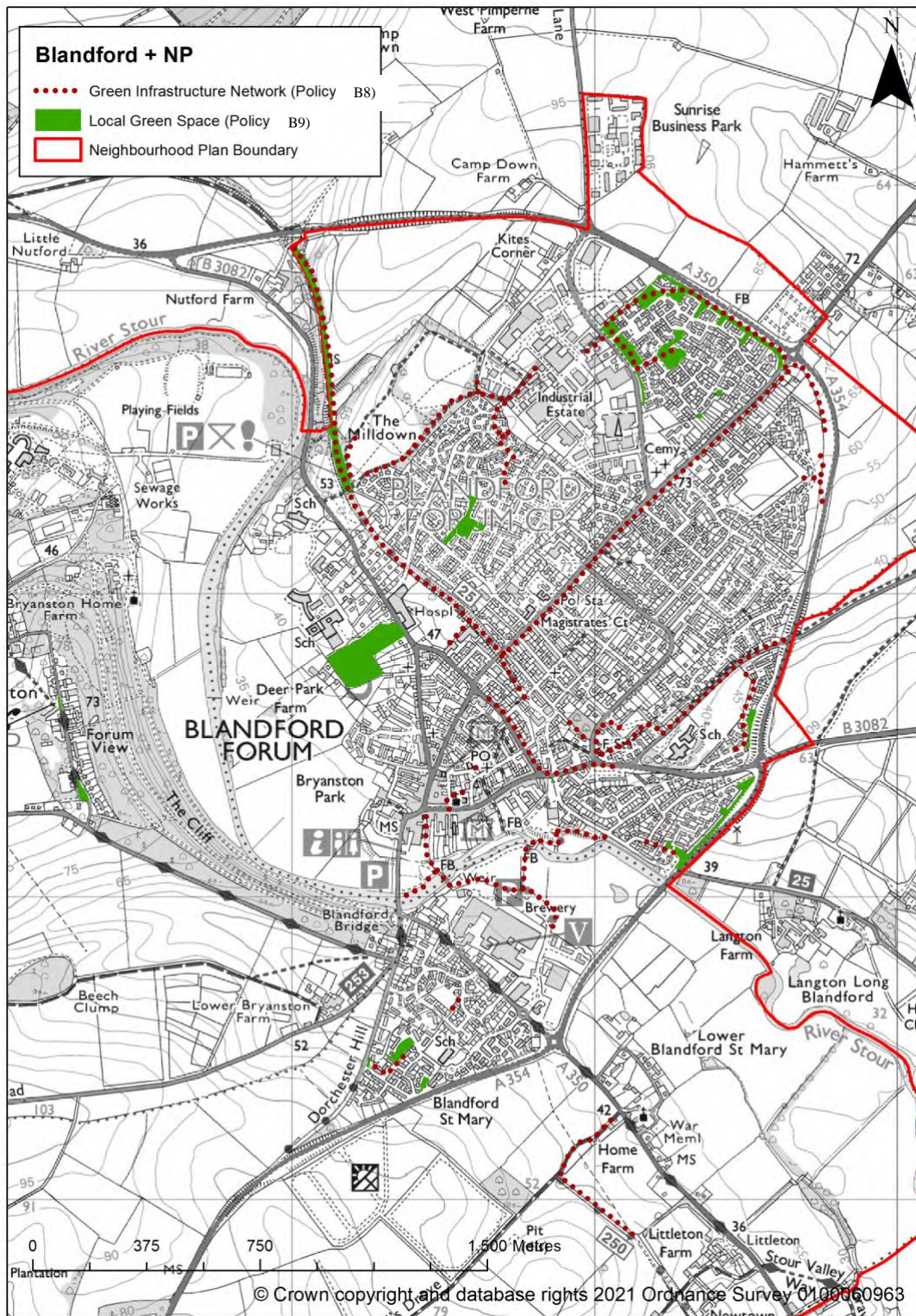
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**Blandford Plus Modified Neighbourhood Plan
Policies Map - Inset B - March 2023**

Neighbourhood Forum Boundary	B3 Employment	B10 Edge of the Town	B11 Local Heritage Assets
Parish Boundary	B10 Industrial	B10 Blandford St Mary Residential	B12 The River Stour Meadows
B1 Settlement Boundary	B10 Blandford Residential	B10 Countryside of Blandford St Mary	
B2 Mixed-use Allocation	B10 Blandford Forum and Approaches Conservation Area	B10 Bryanston Conservation Area	



GREEN INFRASTRUCTURE POLICIES MAP

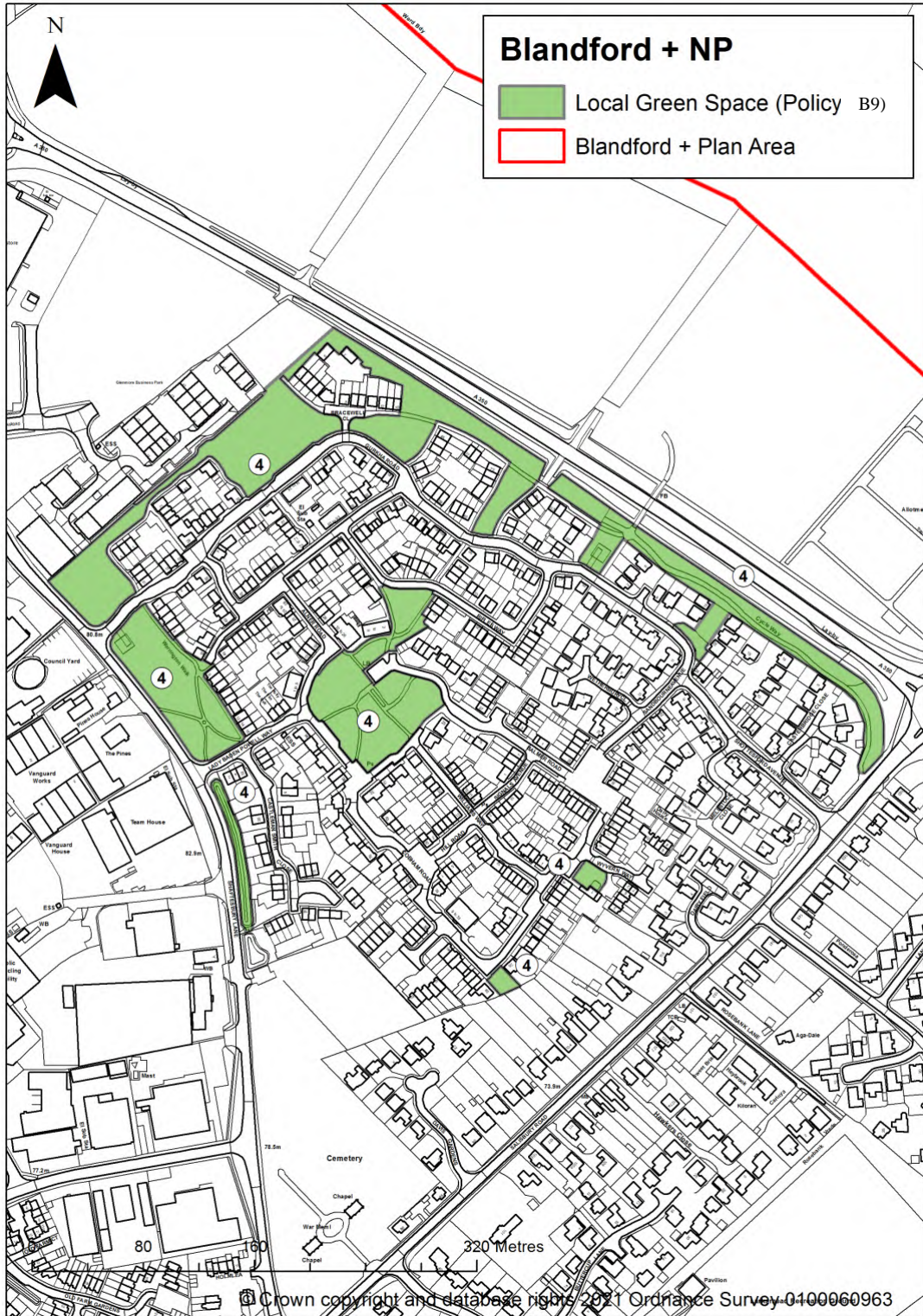


LOCAL GREEN SPACE INSET MAPS













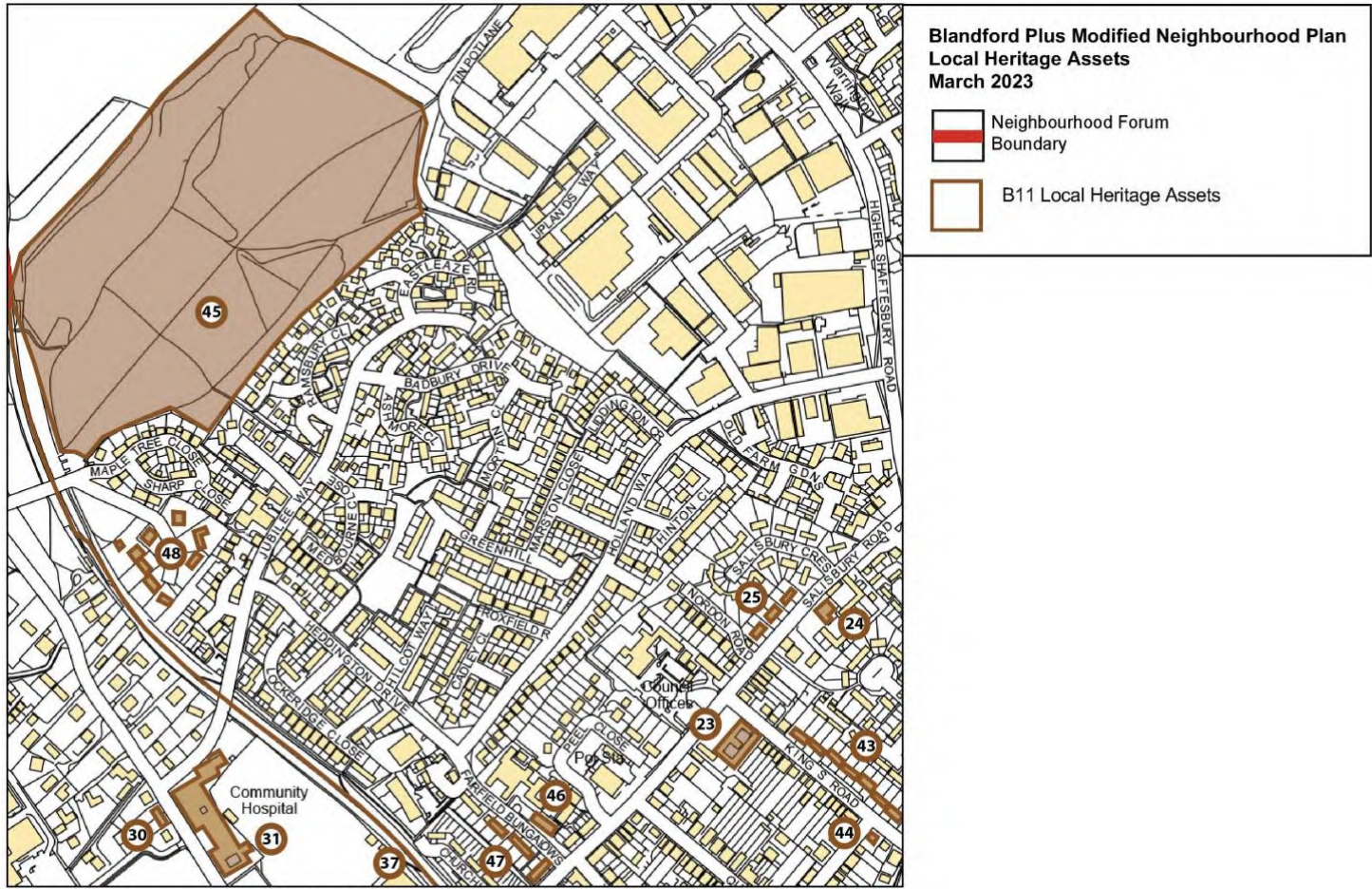








LOCAL HERITAGE ASSETS INSET MAPS



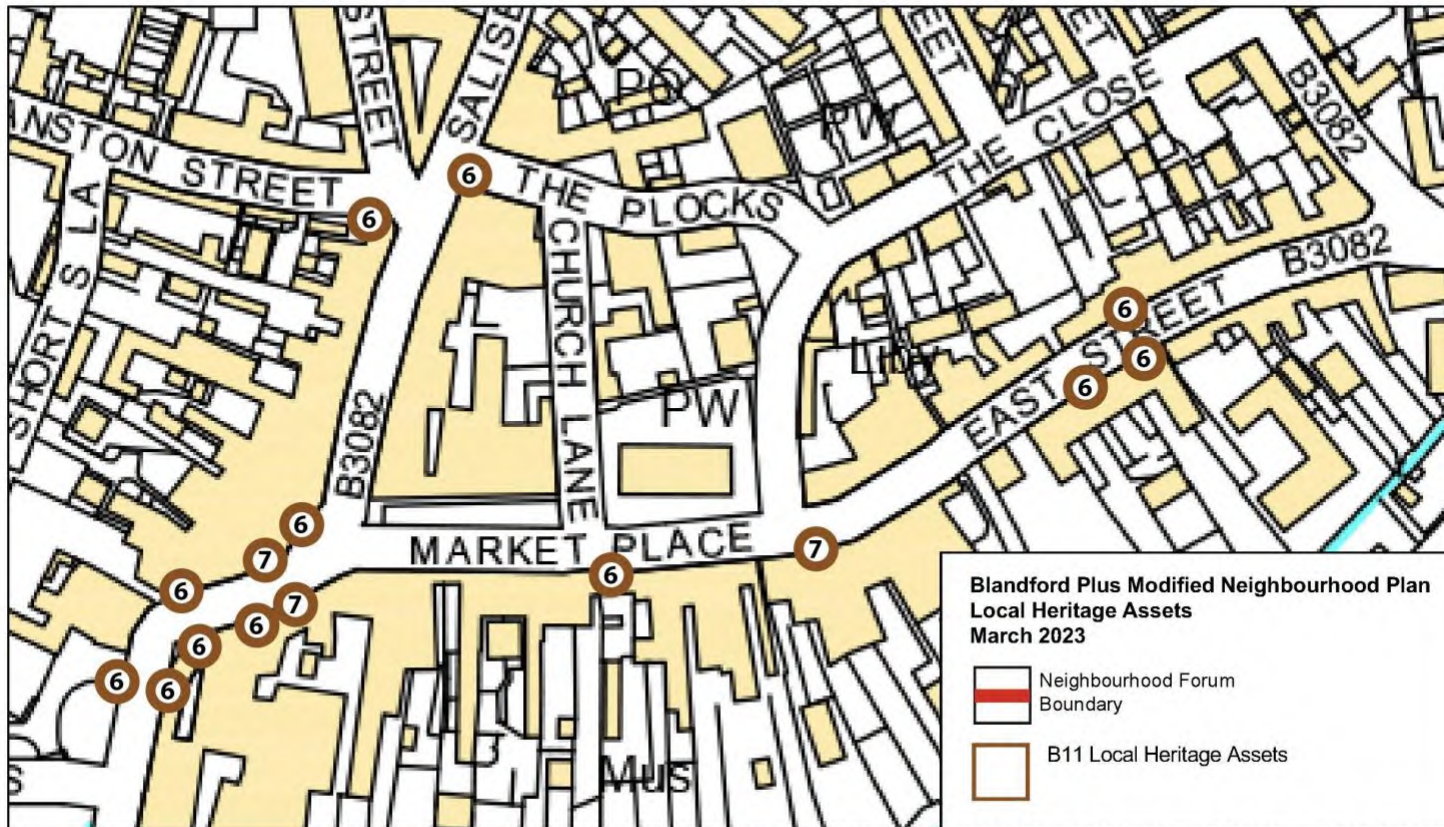
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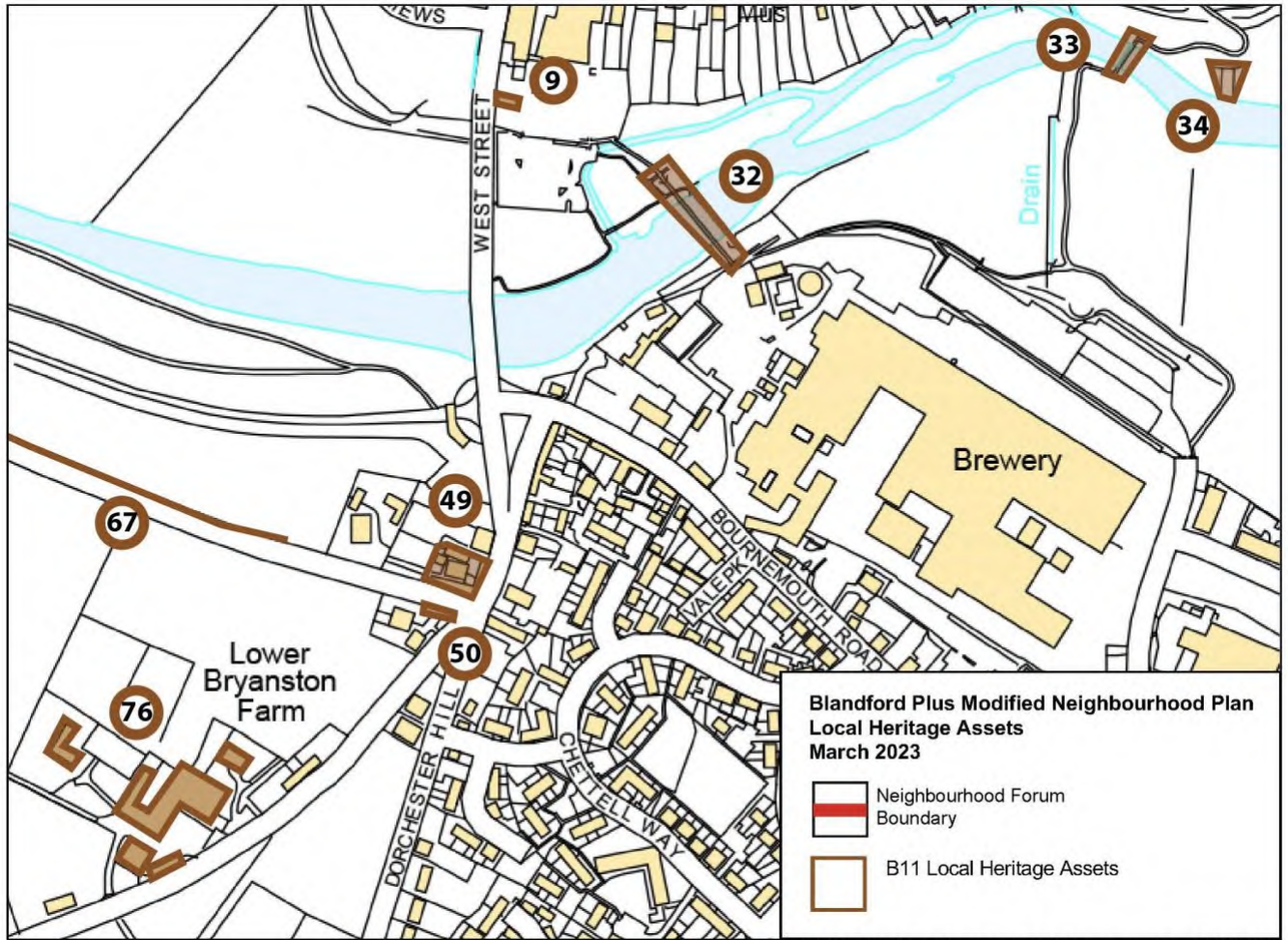
**Blandford Plus Modified Neighbourhood Plan
Local Heritage Assets
March 2023**

-  Neighbourhood Forum Boundary
-  B11 Local Heritage Assets

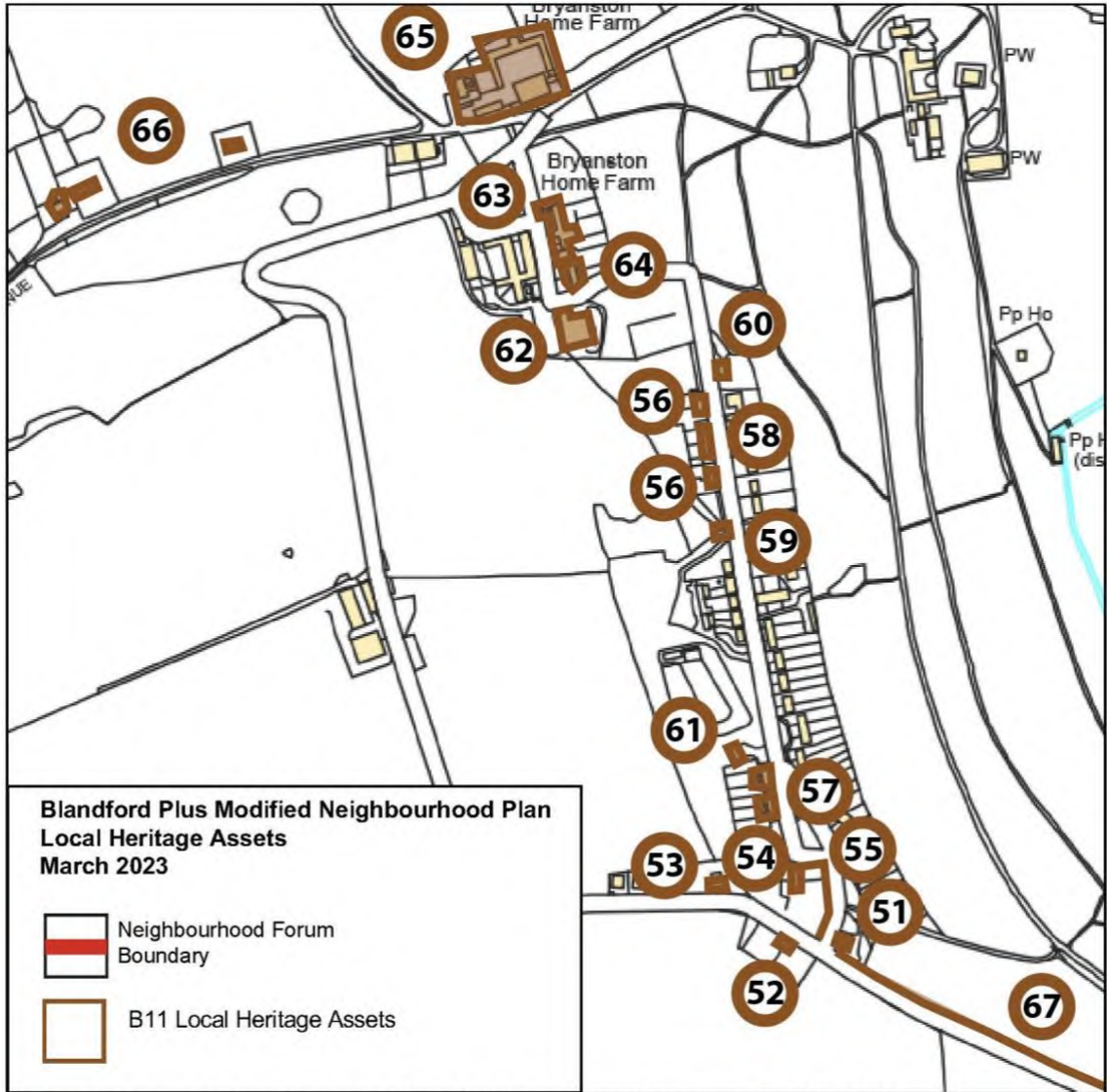
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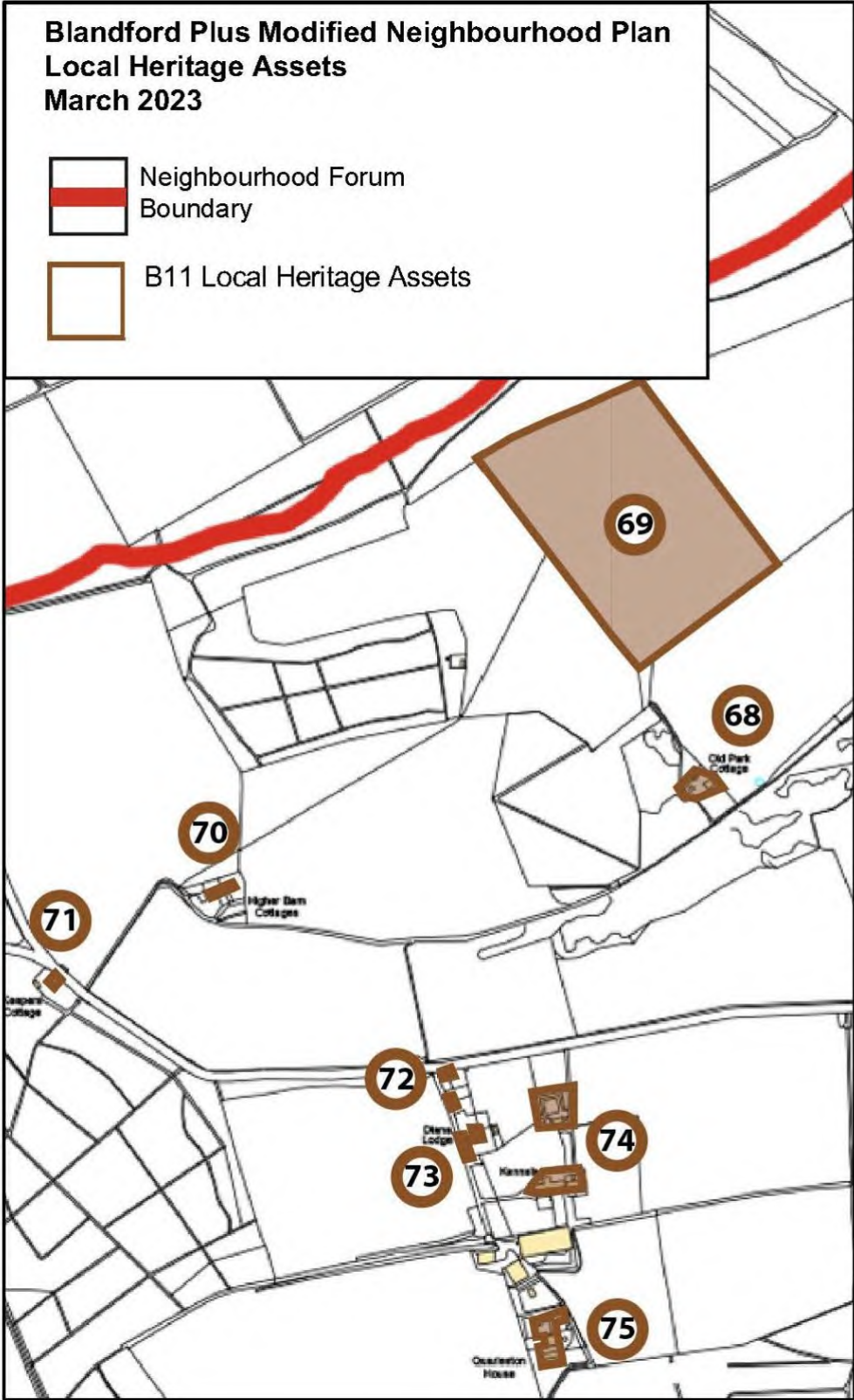
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APPENDIX A: SCHEDULE OF EVIDENCE

The list below contains all those documents collected and reviewed in the process of preparing the Plan. Links to the evidence base are available on the Blandford + Neighbourhood Plan website.

Blandford + Neighbourhood Plan 2015 - 2031
Blandford + Neighbourhood Plan 2015 – 2031 Examiner's Report
Urban Vision Enterprise CIC Report (2017)
The SA/SEA Scoping Report (AECOM, 2018)
The Draft SA/SEA Report (AECOM, 2018)
Final SA/SEA Report (AECOM, Jan 2019)
The Draft SA/SEA Addendum (Oneill Homer, Oct 2022)
Site Selection Background Report and Appendices (Updated Jan 2019)
Habitat Regulations Assessment (AECOM, Jan 2019)
DCC Blandford Pupil Place Planning Statement (updated June 2019)
North Dorset District Council Proposed Housing Sites Landscape Impact Assessment (2010)
North Dorset District Council, Heritage Assessment of Crown Meadows (2014)
Retail and Town Centre Report and Appendix A: Existing Uses (2018)
Blandford + Commercial Situation Report (2018)
Blandford + Health Background Note (2022)
Local Green Spaces working group report (2015)
Local Green Spaces Study (2018)
Green Infrastructure Network report (2016)
Draft Blandford Forum Town Centre Conservation Area Appraisal (2018)
Heritage working group report (2015)
Design in Blandford Forum, Blandford St Mary and Bryanston (2015)
Design in Blandford Forum, Blandford St Mary and Bryanston Update (2018)
Community Facilities working group report (2015) and Update Reports (2018,2022)
The National Planning Policy Framework (2012)
The National Planning Policy Framework (2018)
The National Planning Policy Framework (2021)
The North Dorset Local Plan 2003-2011
The North Dorset Local Plan Part 1 (2011-2031)
The North Dorset Infrastructure Delivery Plan (2014)
The North Dorset Issues and Options Consultation Document (2018)
The North Dorset Issues and Options Sustainability Appraisal (2018)
The North Dorset Annual Monitoring Report including Self Build Registrations (2018)
The Cranborne Chase AONB Management Plan (2019 - 2024)
The Dorset AONB Management Plan (2019 - 2024)
Strategic Housing Land Availability Assessment (SHLAA) (NDDC, 2010)
Responses to NDDC Call for Sites 2017
The Brownfield Register for North Dorset 2017
Eastern Dorset Strategic Housing Market Assessment Update and Review (G L Hearn, 2015)
Economic Growth Strategy for: North Dorset, West Dorset and Weymouth & Portland (2017)
Joint Retail and Commercial Leisure Study (Carter Jonas, 2018)
The Grimsey Review 2 Report (2018)
The Pedestrian Pound: The business case for better streets and spaces. (Living Streets, 2014)
Dorset County Council's Dorset Historic Towns Survey: Blandford Forum (2011)
The Insall Report (1970) "Blandford Forum; Conserve and Enhance"

DCC North and North East Dorset Transport Study (Buro Happold 2010)
Bournemouth, Christchurch, Poole and Dorset Waste Plan (2019)
Strategic Landscape and Heritage Study (North Dorset Area) (2019)
Blandford + Design Code 2022
Blandford + Local Heritage Assets 2022

APPENDIX B: DESIGN CODE

AECOM

locality
the power of community

Blandford+

Design Guidance and Codes

FINAL REPORT
MARCH 2023

Delivering a better world

Quality information

Prepared by	Check by	Approved by
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Daniel Mather		
Graduate Urban Designer		
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Graduate Urban Designer		

Revision History

Issue no.	Issue date	Details	Issued by	Position
3	22/02/2023	Review	Niltay Satchell	Associate Urban Designer
	22/02/2023	Address comments	Hoorieh Morshedi	Urban Designer
2	20/02/2023	Review	Linda Scott-Giles	Blandford Forum Town Clerk
	30/11/2022	Review	Niltay Satchell	Associate Urban Designer
	30/11/2022	Address comments	Hoorieh Morshedi	Urban Designer
	30/11/2022	Address comments	Rose Bateman	Senior Planner
1	08/11/2022	Review	Linda Scott-Giles	Blandford Forum Town Clerk
	19/10/2022	Review, site visit	Niltay Satchell	Associate Urban Designer
	19/10/2022	Research, site visit, drawings	Hoorieh Morshedi	Urban Designer
	11/10/2022	Research, drawings	Daniel Mather	Graduate Urban Designer
	11/10/2022	Research, drawings	Chatnam Lee	Graduate Urban Designer

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Introduction

01

1. Introduction

Through the Department for Levelling Up, Housing and Communities Neighbourhood Planning Programme led by Locality, AECOM was commissioned to provide design support to Blandford Forum Town Council, Blandford St Mary Parish Council and Bryanston Parish Council. The support is intended to provide design guidance and codes based on the character and local qualities of the area to help influence residential developments.

1.1 Purpose of this document

The Neighbourhood Plan Steering Group has sought to develop design guidelines and codes for future development in the Neighbourhood Area.

The National Planning Policy Framework (NPPF; 2021, paragraph 127) states that “Neighbourhood planning groups can play an important role in identifying the special qualities of each area and explaining how this should be reflected in development, both through their own plans and by engaging in the production of design policy, guidance and codes by local planning authorities and developers.”

The stages of production for this document are outlined here:

STEP 1

Meeting with the group and site visit.

STEP 2

Urban design and local character analysis.

STEP 3

Preparation of the design principles, guidelines and codes.

STEP 4

Draft report with design guidelines and codes.

STEP 5

Submission of a final report.

1.2 Area of study

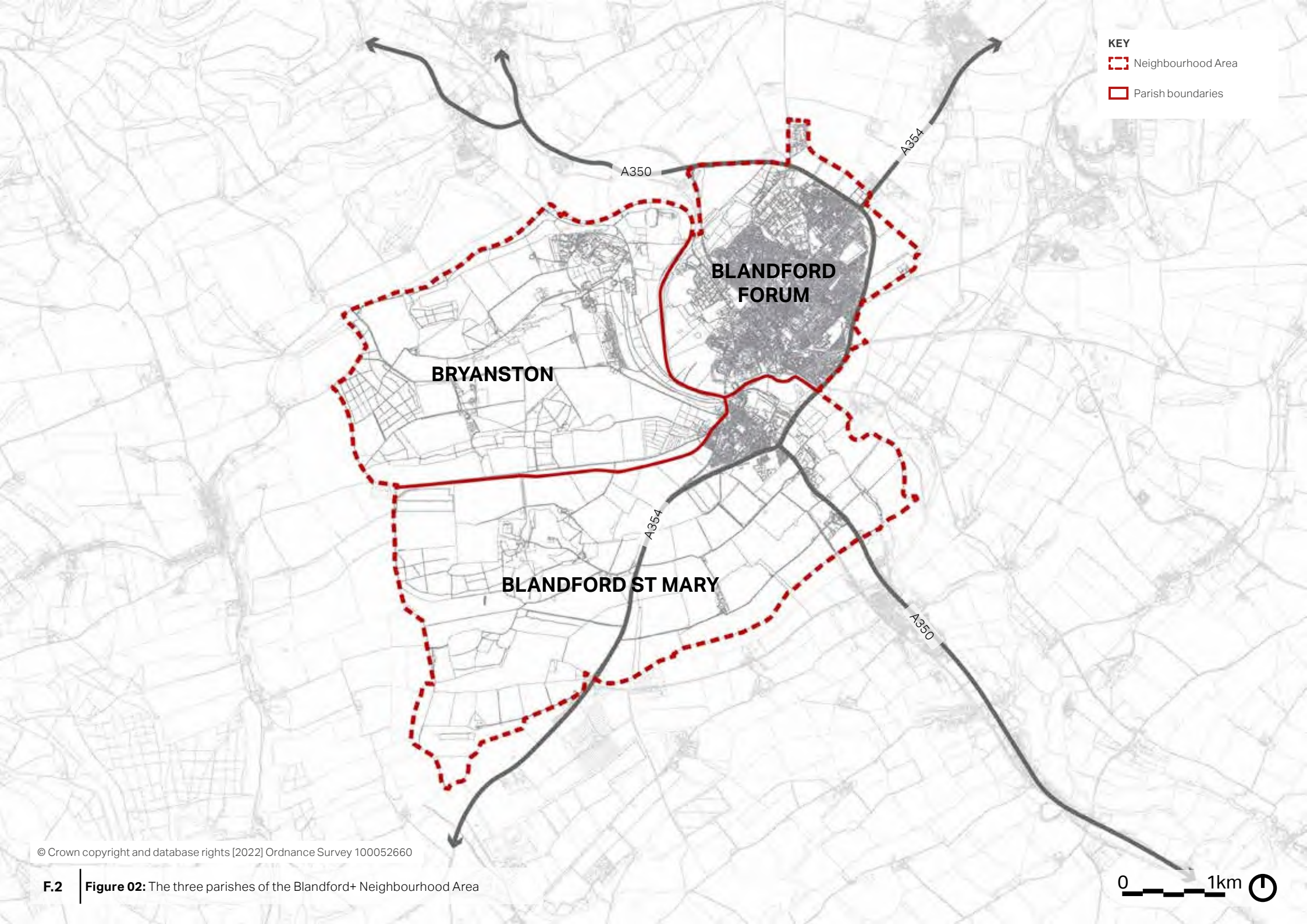
The Blandford+ Neighbourhood Area consists of three parishes, Blandford Forum, Blandford St Mary and Bryanston. The parishes are located in the county of Dorset in the south of England (see **Figure 022**).

The main settlement of the Blandford+ Neighbourhood Area is Blandford Forum. Other nearby large settlements include Poole and Bournemouth to the south and Salisbury to the north-east. The South Western Railway on the south coast connects the Neighbourhood Area with London (see **Figure 03**).



F.1

Figure 01: Stour Meadow in Blandford Forum

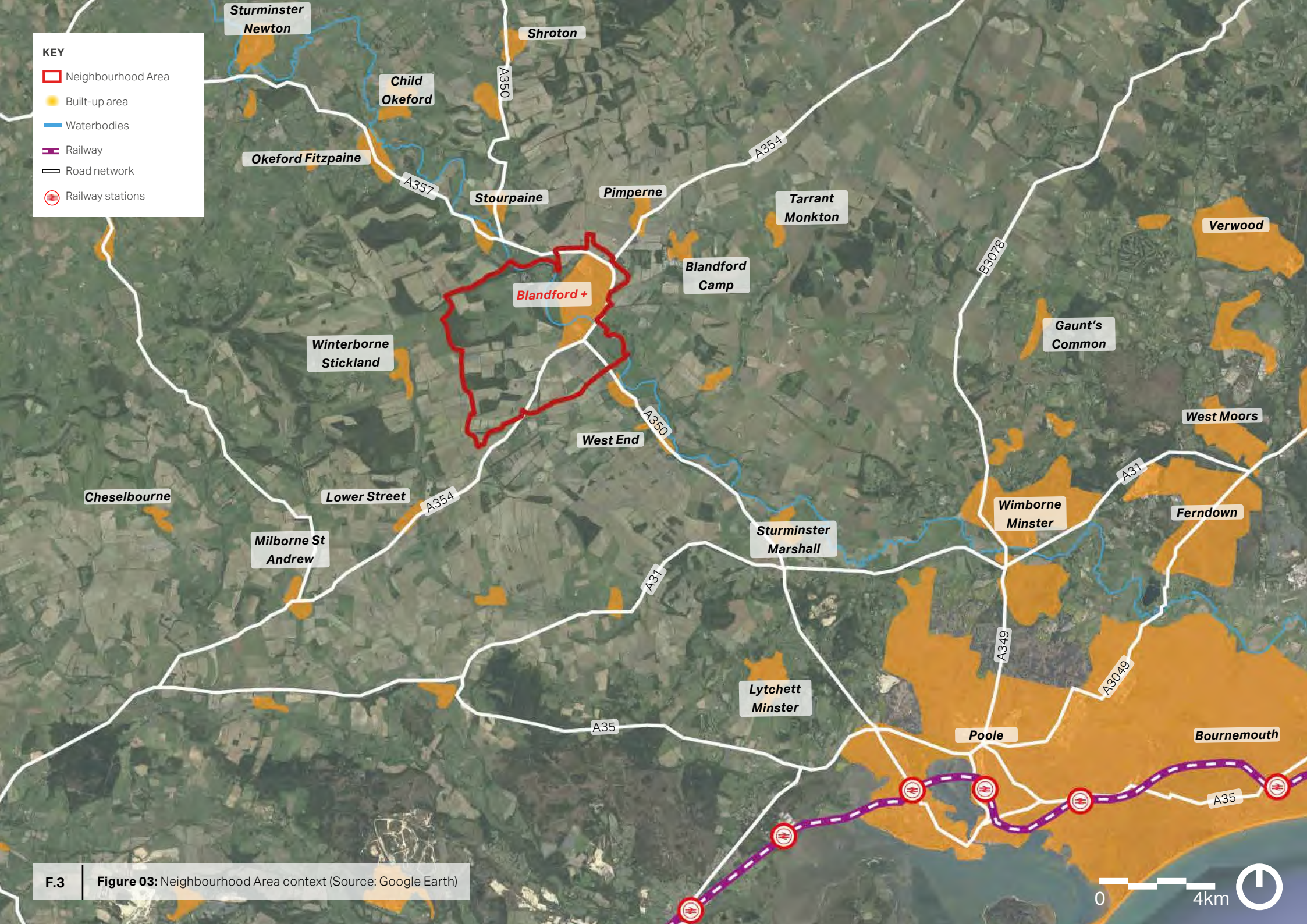


KEY
- - - Neighbourhood Area
- - - Parish boundaries

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F.2 | **Figure 02:** The three parishes of the Blandford+ Neighbourhood Area

0 1km




F.3 | **Figure 03:** Neighbourhood Area context (Source: Google Earth)

1.3 Design guidance and best practice

This section summarises the relevant design policy, guidance and evidence base which have informed this design code. Any new development application should consider these documents.

National Design Guidance


2021



National Planning Policy Framework - Department for Levelling Up, Housing and Communities

Relevant national planning policy is contained within the National Planning Policy Framework (NPPF, July 2021). The NPPF was updated in July 2021 to include reference to the National Design Guide and National Model Design Code and the use of area, neighbourhood and site-specific design guides. Paragraph 126 states that: “the creation of high quality buildings and places is fundamental to what the planning and development process should achieve” and outlines that “good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.”

2021



National Design Guide - Department for Levelling Up, Housing and Communities

The National Design Guide sets out the government’s ten priorities for well designed places and illustrates how well-designed places can be achieved in practice. The ten characteristics identified include: context, identity, built form, movement, nature, public spaces, uses, homes and buildings, resources and lifespan. The Guide also reinforces the National Planning Policy Framework’s objective in creating high quality buildings and places. The document forms part of the government planning practice guidance.

2021



National Model Design Code - Department for Levelling Up, Housing and Communities

The draft National Model Design Code provides guidance on the production of design codes, guides and policies to promote well-designed places. It sets out the key design parameters that need to be considered when producing design guides and recommends methodology for capturing and reflecting views of the local community.

2020



Building for a Healthy Life - Homes England

Building for a Healthy Life updates Homes England's key measure of design quality as the national housing accelerating body. The document sets out 12 considerations for creating integrated neighbourhoods, distinctive places and streets for all. While it is not part of the national policy, it is recognised as best practice guidance and design tool in assessing the design quality of developments.

2007



Manual for Streets - Department for Transport

Development is expected to respond positively to the Manual for Streets, the Government's guidance on how to design, construct, adopt and maintain new and existing residential streets. It promotes streets and wider development that avoid car dominated layouts and promote active travel.

2019



North Dorset Local Plan – Dorset Council

The North Dorset Local Plan is part of the Local Development Plan. Adopted in January 2016, the Local Plan sets out the spatial vision and strategy for the district over the period of 2011 to 2031. The Local Plan also includes topic and place-based strategic policies to guide new development and strategic development management policies that provide further detail on key matters.

A new Local Plan is currently being prepared by the newly formed Dorset Council unitary authority for the whole Dorset Council Area. The new Local Plan will replace plans adopted by the district and borough council areas of Dorset.

2021

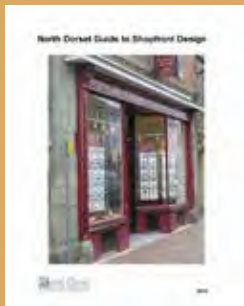


Blandford+ Neighbourhood Plan – Blandford+

The first Blandford + Neighbourhood Plan is part of the Local Development Plan. Adopted in June 2021, the Local Plan sets out the community’s vision with planning policies for the Neighbourhood Area over the period 2011 to 2033. The planning policies for design seek to sustain and enhance the Neighbourhood Area.

This design code builds upon the Blandford+ Neighbourhood Plan vision, objectives and planning policies for design. It also considers the design reports prepared as evidence for the Neighbourhood Plan, namely Design in Blandford Forum 2015 (updated 2018), Design in Blandford St Mary 2015 (updated 2018), and Design in Bryanston 2015 (updated 2018).

2014



North Dorset Guide to Shopfront Design – Dorset Council

The North Dorset Guide to Shopfront Design provides information on shopfront signage and architectural features to guide alterations, replacements and restorations. It was produced in partnership with the Blandford Forum Town Council.

This design guide notes the North Dorset Guide to Shopfront Design as being relevant in the Neighbourhood Area and provides additional high-level guidance on shopfronts.

2011



Dorset Historic Towns Project – Dorset County Council

The Dorset Historic Towns Survey analyses the historic character of towns in Dorset. The report highlights aspects of each towns' historical development and how this has shaped the urban environment today. Blandford Forum is recognised for being closely bound with its distinctive landscape setting, its historic fabric quality, and its preserved medieval layout. Character Appraisals have been completed for the medieval town, Salisbury Street, Milldown Road, Railway suburb, North and East Blandford and Blandford St Mary.

2019



Areas of Outstanding Natural Beauty (Management Plans – National Association for Areas of Outstanding Natural Beauty (AONB)

The Cranborne Chase Partnerships Plan 2019-2024 and Dorset Management Plan 2019-2024 are the statutory management plans for the AONB within the Neighbourhood Area. The management plans detail the unique attributes and key considerations for each AONB. The Dorset AONB Management Plan is supported by several documents that provide further guidance on planning and development within the AONB, including for rural highways.

2018



Conservation Area Appraisal – Dorset Councils Partnership

Blandford Forum is best known as one of the finest examples of a Georgian Town in Britain. The Conservation Area was designated in 1972 - as proposed and detailed in the Blandford Forum Conserve and Enhance 1970 report - and significantly expanded in 1990. It consists of nine sub-areas that represent a coherent pattern of development and character. The appraisal is focused on the historic town centre including area to the south of the town bridge within Blandford St. Mary together with 19th century suburbs to the north. The remaining sub-areas will be subject to a further study.

A street scene in a historic town, likely Bath, England. The street is paved with cobblestones and has a stone wall on the left. On the right, there are brick buildings with white window frames. One building has a sign that says "BALEBER SHO" and another has a sign that says "GEORGIAN PASSAGE". The sky is blue with some clouds. A large green circle is overlaid on the center of the image, containing the text "Neighbourhood Area Context Analysis" and the number "02".

**Neighbourhood Area
Context Analysis**

02

2. Neighbourhood Area Context Analysis

This section outlines the broad physical, historic and contextual characteristics of the Neighbourhood Area.

2.1 Town structure and movement

2.1.1 Pattern of development

Historic maps suggest that Blandford Forum settlement originated where the Conservation Area was first designated. In 1731, a devastating fire burned down almost all of the market town. The post-fire rebuild of the Blandford Forum involved little planning, although the street layout was improved and the Market Place and Church precincts were created. Many buildings rebuilt after the fire remain today and contribute significantly to the local historic character.

Since the rebuild, the market town has grown significantly. Several residential areas and some industrial estates have developed primarily to the north/north-east and south/south-east.

Bryanston School is also a key focal point of the Neighbourhood Area, which is located to the west of Blandford Forum.

2.1.2 Plot and road layout

The primary roads that connect to the Neighbourhood Area include the A350, the A354 and Salisbury Road. These roads provide access to Salisbury, Dorchester, Poole and Bournemouth.

Fair Mile Road splits the parishes of Blandford St Mary and Bryanston. The centre of Blandford St Mary is transversed by the A354, which provides fast accessibility to the town, however, it also acts as a barrier which splits the north and south of the Neighbourhood Area. On the other hand, Bryanston is connected by rural roads.

In terms of Blandford Forum, the central node is the Market Place, which secondary roads sprawl out from. Salisbury Road is a key route into the town centre from which most residential areas branch off; there are over twenty junctions along the road between the town centre and the edge of the settlement.

A permeable block typology is the prevalent layout of residential areas, which provides good connectivity. There are some examples of cul-de-sacs that enhance the tranquility of streets but limit connectivity. Residential roads are narrow and typically have pavement on either side of the street. Grass verges are common throughout the residential areas and help create a green and leafy character. There is a mix of on-plot and on-street car parking. Although, the on-street parking has resulted in safety issues in some areas.

2.1.3 Public and active transport

There are several bus routes in the town centre and residential areas, providing connections to places such as Poole, Weymouth and other parts of the Neighbourhood Area. This encourages people to use public transport, resulting in fewer cars in the town centre.

In terms of active transport, the roads are not cycle friendly as they are narrow with no cycle lanes. There is pavement on either

side of the road throughout Blandford, although in central areas it is sometimes narrow which can be challenging for some users, such as people with buggies. Some cycle parking is provided in the town centre but there is an opportunity to provide additional safe spaces.

Outside of the town there is a network of public footpaths which make the most of the natural beauty of the Neighbourhood Area. The footpaths cut through the woodland and the open fields of the Dorset AONB, encouraging people to get outside and go on walks and bike rides. This asset encourages an active lifestyle for improved physical and mental health.



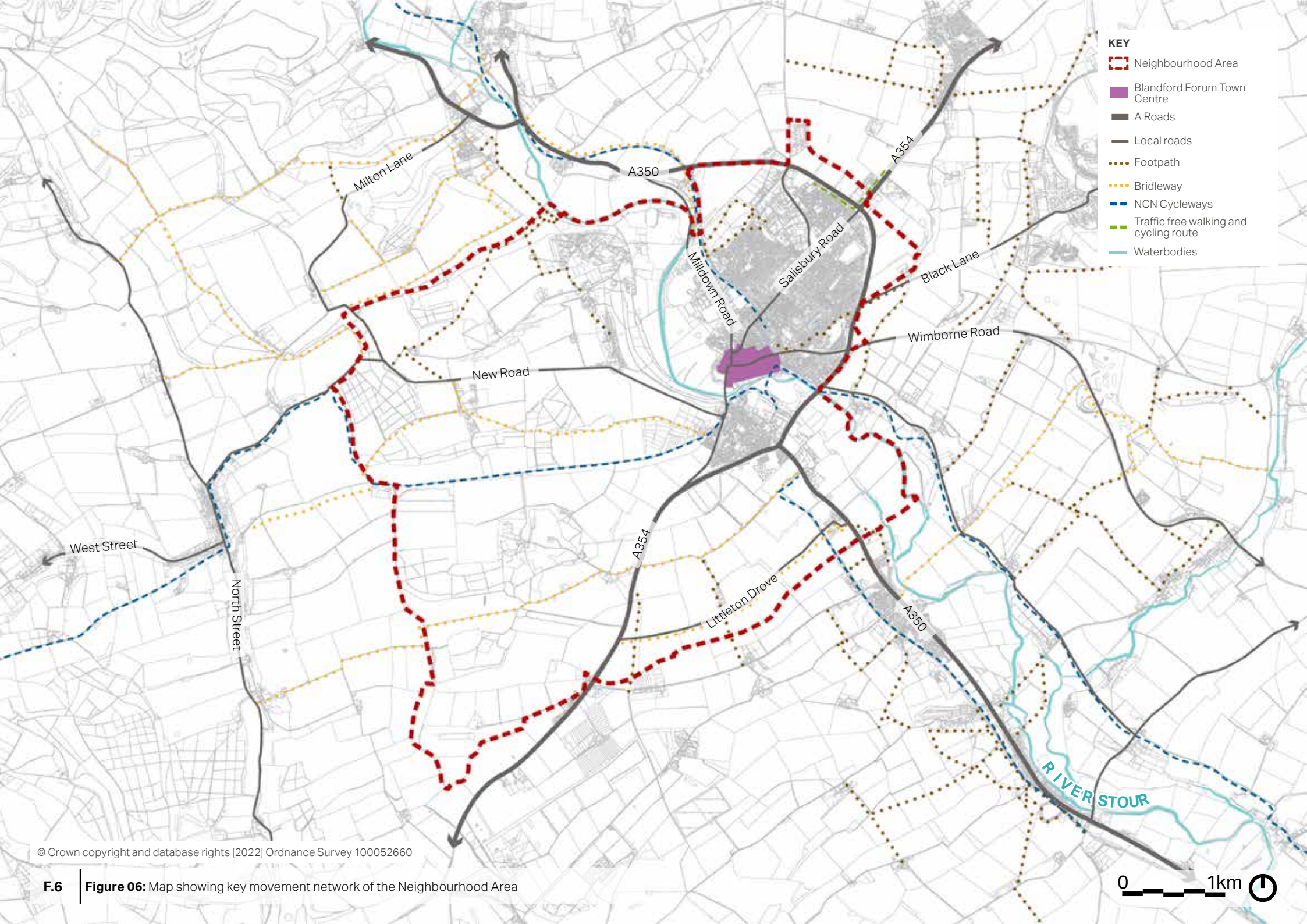
F.4

Figure 04: Part of the Stour Meadows



F.5

Figure 05: Mix of uses along Market place in Blandford Forum



- KEY**
- Neighbourhood Area
 - Blandford Forum Town Centre
 - A Roads
 - Local roads
 - Footpath
 - Bridleway
 - NCN Cycleways
 - Traffic free walking and cycling route
 - Waterbodies

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F.6 | **Figure 06:** Map showing key movement network of the Neighbourhood Area

0 1km



F.7



F.9



F.8



F.10

Figure 07: A rural road without pavements in Bryanston. The road is bounded by green verges and mature trees and provides direct the view towards the countryside

Figure 08: Wimborne Road is one of the main roads towards the town centre. The buildings are well set back from the pavement with adequate front gardens

Figure 09: Footpaths help to increase connectivity within the Neighbourhood Area

Figure 10: Footpath on East Street adjacent to St Peter and St Paul's Church

2.2 Historic and landscape features

2.2.1 Historic features

The name Blandford derives from the Old English blæge, and probably means ford where gudgeon or blay are found. It is taken to mean 'place by the river' or after a fish called a 'blenny'. The name Bleneford or Bleneford is recorded in the Domesday Book in reference to the adjacent villages of Bryanston and Blandford St Mary on the opposite side of the ford, and Langton Long Blandford further downstream.

Blandford Forum is best known as one of Britain's finest Georgian Towns. A Conservation Area was designated in 1972 to preserve and enhance its historic character. This area was significantly expanded in 1990 to include areas in Blandford, Blandford St. Mary and Bryanston (see **Figure 11**). Given this rich history, Blandford also is the home to dozens of listed buildings and two scheduled monuments, which are detailed on the [Historic England website](https://historicengland.org.uk/)¹.

1. <https://historicengland.org.uk/>

2.2.2 Environment and green infrastructure

Most the countryside surrounding the settlements in the Neighbourhood Area is long-established arable farmland. The Neighbourhood Area is valued for its natural beauty with several significant features including veteran trees.

Over half of the Neighbourhood Area to the west lies within the chalk valley and downland and the stour valley pasture character areas of the Dorset AONB. Part of the Neighbourhood Area to the north and east is within the Cranborne Chase and West Wiltshire Downs AONB. The settlement of Blandford Forum is nestled between the two AONB, which makes it a picturesque place to live and visit, and makes a significant contribution to its character.

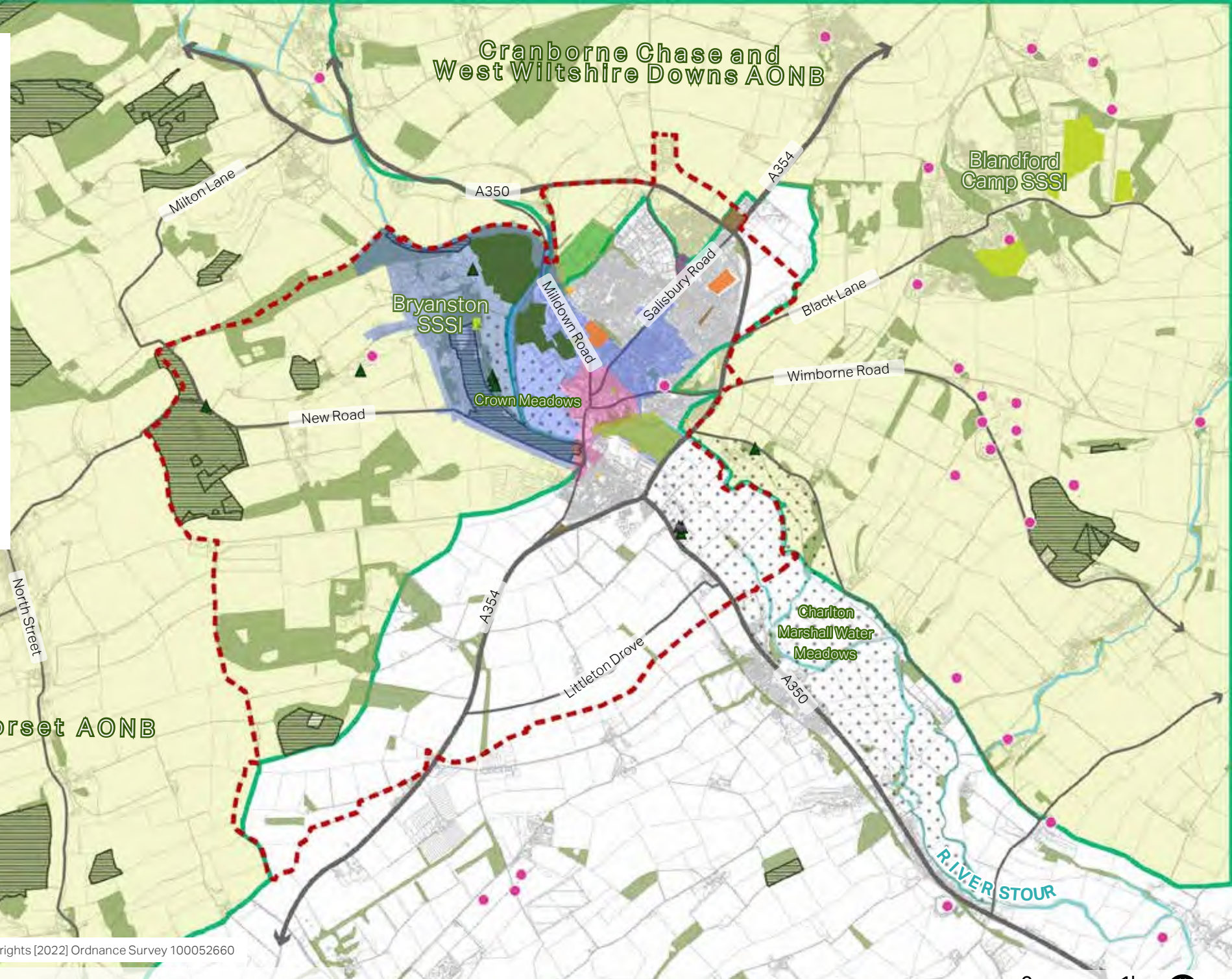
The Neighbourhood Area provides a range of habitats for wildlife to thrive. Chalk and limestone grassland sites have areas of grassland, which supports many low-flowering plants, alongside areas of bare ground, longer vegetation and scrub,

which provides habitat for insects, birds, amphibians and reptiles.

There is a small Site of Special Scientific Interest (SSSI) - Bryanston SSSI - just south of Bryanston School. It is known as the habitat of Greater Horseshoe Bat, managed by the Vincent Wildlife Trust. The population is of national importance and therefore afforded high levels of protection, placing significant legal duties on decision-makers to prevent damage to bat roosts, feeding areas and the routes used by bats to travel between these locations. There are also various Ancient Woodlands within the Neighbourhood Area, the largest of which is located in the west. A woodland area in Bryanston is also a Site of Nature Conservation Interest (SNCI) known as The Cliff.

Splitting the Neighbourhood Area into two is the River Stour, which travels south towards Poole and the English Channel. It is a great asset to the area not just for aesthetically pleasing walks but also for biodiversity.

- KEY**
- Neighbourhood Area
 - Conservation Area 1972
 - Conservation Area 1990
 - AONB
 - SSSI
 - Ancient Woodland
 - Other woodlands
 - Meadow
 - Sport facilities
 - Cemetery
 - Sport space
 - Public park or garden
 - Milldown LNR
 - Allotment
 - Playing field
 - ▲ Veteran trees
 - Scheduled monuments
 - Waterbodies
 - Road network



Cranborne Chase and West Wiltshire Downs AONB

Blandford Camp SSSI

Bryanston SSSI

Crown Meadows

Charlton Marshall Water Meadows

Dorset AONB

RIVER STOUR

F.11 Figure 11: Historic and landscape features of the Neighbourhood Area



Figure 12: A view towards the sport facilities of Bryanston School



Figure 13: The landscape in Bryanston School grounds with mature trees and large green verges which add interest to this character area



Figure 14: A view towards Pimperne Stream on Blandford Forum Bypass



Figure 15: A play area in Bryanston



Figure 16: A view towards the woodland in Stour Meadows

2.3 Topography and flood risk

The Neighbourhood Area is characterised by rolling hills with elevations ranging from about 30 to 145 metres above sea level. The land generally slopes down from the north to the south of the Neighbourhood Area as well as sloping down from both the east and west. This means that the settlements of the Neighbourhood Area are within a valley and have panoramic countryside views of the surrounding hillside.

Running directly through the valley is the River Stour which comes from Stourhead in Wiltshire. It flows south into Dorset through the Blackmore Vale and joins the English Channel. While this adds to the character and natural beauty of the area, it also creates a flood risk. High rainfall and heavy surface run off from the hillside into the river can lead to it bursting its banks and flooding surrounding areas.

An area within Flood Risk Zone 3 runs through the Neighbourhood Area along the River Stour, cutting through the main settlement and putting properties at risk.

Development within Flood Risk Zone 3 is required to submit a flood risk assessment as part of its planning application¹.

The Stour Meadows Park works as a mitigator for flood risk by acting as a flood plain. Although, some properties in the town are still at an increasing risk of being flooded as climate change continues to have an impact on meteorological conditions.

1. <https://www.ambiental.co.uk/flood-zones/>



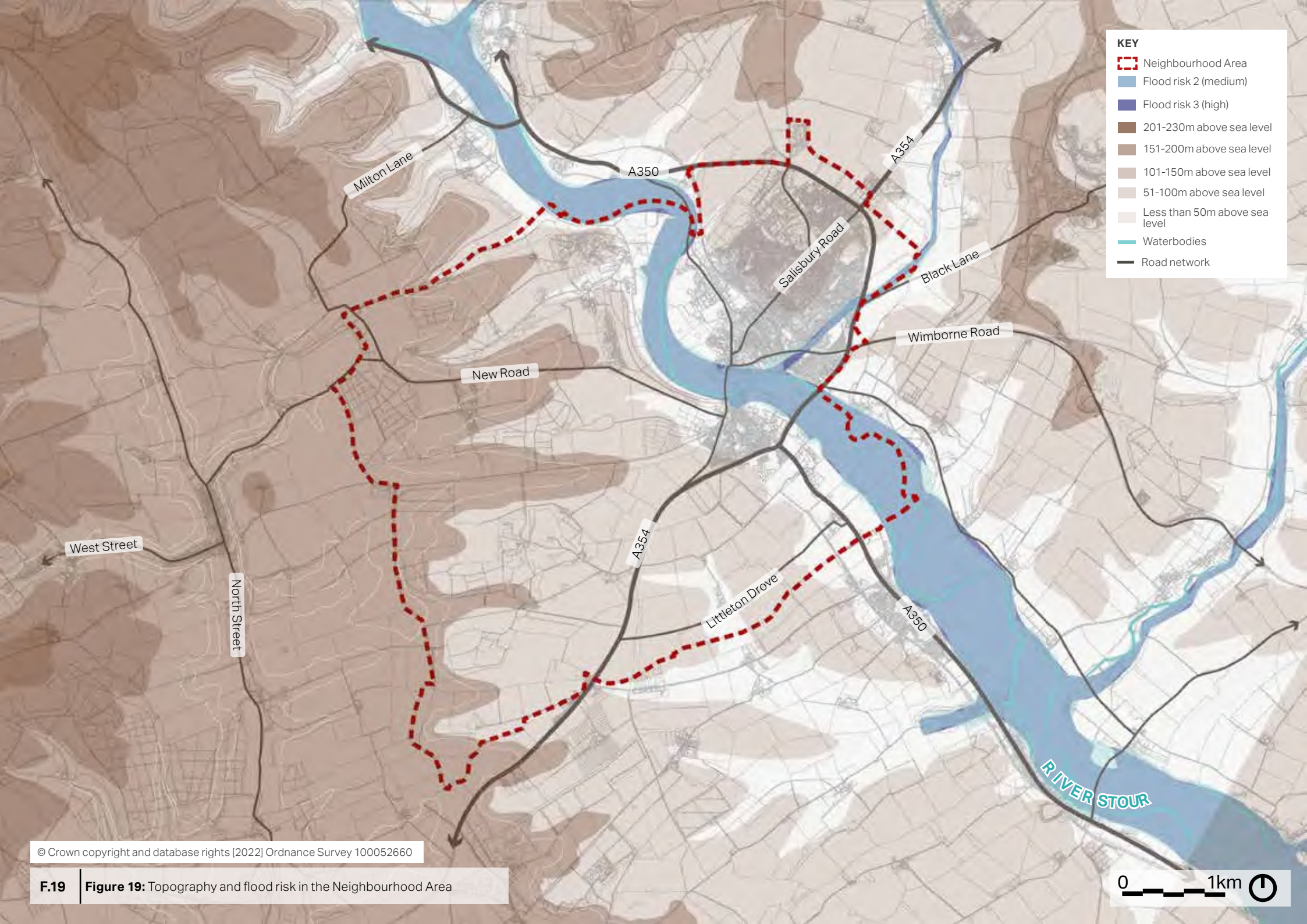
F.17

Figure 17: Photo showing the elevation difference in Bryanston School



F.18

Figure 18: River Stour as a flood plain acting as a mitigator for flood risk

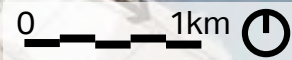


KEY

- Neighbourhood Area
- Flood risk 2 (medium)
- Flood risk 3 (high)
- 201-230m above sea level
- 151-200m above sea level
- 101-150m above sea level
- 51-100m above sea level
- Less than 50m above sea level
- Waterbodies
- Road network

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F.19 Figure 19: Topography and flood risk in the Neighbourhood Area





**Character Area
Assessment**

03

3. Character Area Assessment

3.1 Defining the Character Areas

Following on from the analysis set out above, this part of the report focuses on the different Character Areas within the Neighbourhood Area. The different areas are characterised by variations in topography, movement, views and landmarks, green space and landscape cover, public realm, streetscape, built form and architectural details.

The Neighbourhood Area has nine Character Areas (see **Figure 20**), which have been defined in collaboration with the group, and are shown opposite.

CA1. Blandford Forum and Approaches

CA2. Blandford Town

CA3. Bryanston

CA4. Blandford Residential

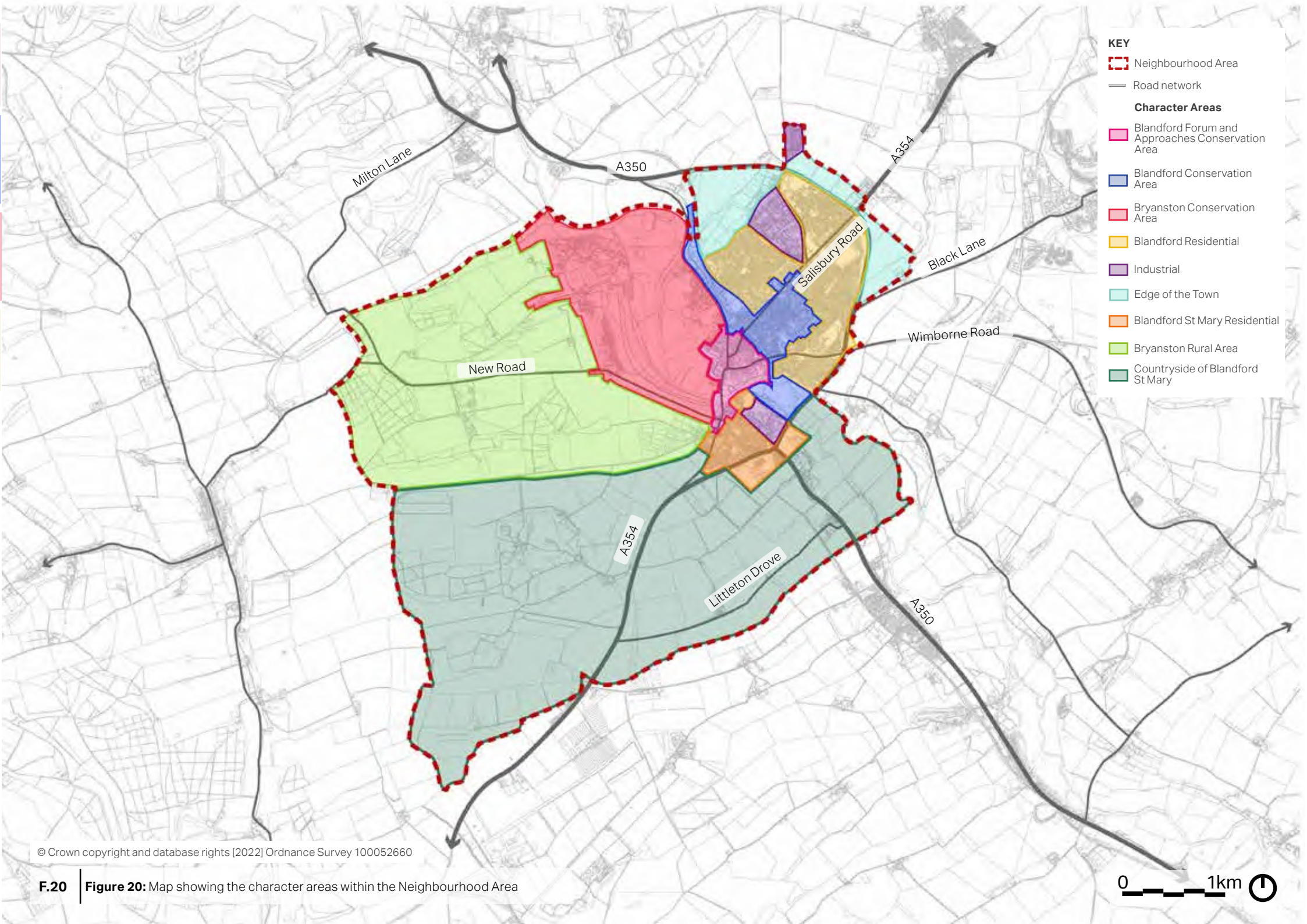
CA5. Industrial

CA6. Edge of the Town

CA7. Blandford St Mary Residential

CA8. Bryanston Rural Area

CA9. Countryside of Blandford St Mary



F.20 | **Figure 20:** Map showing the character areas within the Neighbourhood Area

CA1. Blandford Forum and Approaches



The Blandford Forum and Approaches is located in the town centre. It consists of the original Conservation Area first designated in 1972 to preserve and enhance Blandford's historic character.

Land Use	The Character Area covers the town centre and contains a mix of uses. The southern part along Market Place is dominated by retail units, which transitions to residential further north along Salisbury Street. However, there is a transition toward residential uses to the east of East Street.
Pattern Of Development	Development has growth along two main roads in the Character Area: Market Place and Salisbury Street. Cul-de-sacs branching off of these roads are also typical for this area.
Building Line/Plot Arrangement	There is an established continuous building line in the Character Area, particularly in retail areas such as the Market Place. The building line creates a linear feel to the environment but also encourages natural surveillance. Landmark buildings create rare gaps in the building line, such as the St Peter and St Paul's Church.
Boundary Treatment	Plots are defined by the buildings, which front directly onto the street.
Heights & Roofline	There is a varied roofline in the Character Area, with building heights ranging from two to four storeys.
Public Realm	The public realm primarily consists of narrow streets with limited vegetation. The streets are wider with on-street parking in East Street and Market Place. However, there are Milldown Road and St Leonard's Avenue which are tree-lined with larger plots/larger gardens.
Materials	Historic buildings are mostly red brick with stone dressings and headers. Façades include brickwork detailing in contrasting colours which connect the openings of one storey with those of another. Roofs are either clay tile or slate, a later 19th century import.

Images



Figure 21: View toward the Georgian buildings at the intersection of Market Place and Salisbury Street



Figure 22: Two-storey Georgian buildings with car parking areas on The Plocks

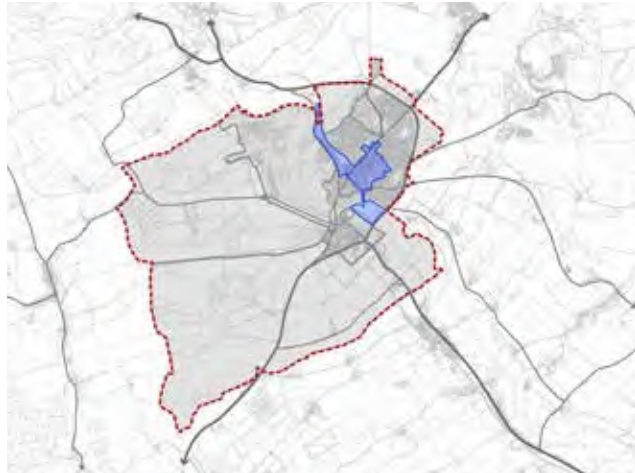
Figure 23: Pump House, a Grade I listed, acts as landmark just in front of St Peter and St Paul's Churchyard on Market Place

Figure 24: Corn Exchange as a landmark on Market Place

Figure 25: The Ground floor retail units along Market Place opposite the church



CA2. Blandford Town



Blandford Town is located in the north of the Neighbourhood Area. It is part of the wider Conservation Area designated in 1990. It is home to two of the Neighbourhood Area's main schools as well as traditional terraced and semi-detached housing.

Land Use	The Character Area is primarily residential, with the exception of a community hospital, Blandford School, Milldown Academy and Panda Pre-School.
Pattern Of Development	The residential area was the early expansion from the town centre to the south. It consists of a square block typology which enhances accessibility and permeability for both pedestrians and motorists.
Building Line/Plot Arrangement	Plots are typically arranged back-to-back, which optimises privacy and natural surveillance of the streets. Buildings are typically of a terraced typology, with some semi-detached. The terraced housing lends itself to a consistent building line, which is setback one to two metres from the street.
Boundary Treatment	Plots are typically defined by a low red brick wall and vegetation, such as hedges. Some building front directly onto the street.
Heights & Roofline	Buildings are typically two storeys in height, which maintains the human scale of the narrow street. Most terrace housing in the Character Area has hipped roofs.
Public Realm	The public realm has narrow streets and footpaths, and in some area, no footpaths. However, the Character Area fronts fields and the River Stour, which offer large expanses of open space.
Material	Red brick and white render façades are most prevalent in the Character Area.

Images



F.26

Figure 26: Two-storey and half buildings with courtyard parking on Salisbury Fairfield Junction



F.27

Figure 27: Rendered two-storey properties on Damory Court Street



F.28

Figure 28: A typical narrow street on Albert Street



F.29

Figure 29: Compact layout of plots on Alfred Street with narrow road layout

CA3. Bryanston



The Bryanston character area is located along the northern edge of the Neighbourhood Area and is part of the wider Conservation Area designated in 1990.

The land within the Bryanston Conservation Area is part of the former extensive Portman estate, comprising Bryanston School in the former Portman mansion and the historic estate village of Bryanston. The River Stour flows along the eastern and northern edges of the character area, with extensive ancient woodland rising above the western edge of the river.

Land Use	Bryanston School and the Blandford Tennis Club are located to the north of the Character Area, and St Martin's Church to the north-east. Residential areas are clustered around The Cliff, Bryanston Home Farm and New Road.
Pattern Of Development	Residential areas follow a linear pattern of development, with deep back gardens, especially along The Cliff. Houses are arranged in clusters at Bryanston Home Farm and Portman Mews.
Building Line/Plot Arrangement	Plots are typically large, backing onto surrounding woodlands and fronting the roads to provide natural surveillance. Houses are a mixture of detached, semi-detached and terraces, varying in age from early Victorian to post-war. Houses are aligned to create a consistent building line which is setback 10m from the street. Buildings as part of Bryanston School have larger footprints.
Boundary Treatment	Plots are defined by low brick and stone walls and vegetation, such as hedges and green verges. Iron railing and wooden fences are also used on some boundary edges. Residential areas also have deep front gardens.
Heights & Roofline	Buildings are typically two storeys in height, which maintains the human scale of the narrow street. The Character Area contains a mix of hipped and pitched roof styles.
Public Realm	The public realm of residential areas has narrow streets and footpaths, which are only on one side of the road at times along The Cliff. The area also includes and open spaces along the River Stour such as the Crown Meadows.
Material	Red brick and white render façades and boundary treatments are most prevalent in the Character Area. Local stones are also sometimes utilised for boundary treatments.

Images



Figure 30: The Old Powerhouse, now a thriving community facility - Bryanston Club - in Bryanston, formerly the electricity generating station for Portman estate

Figure 31: A terrace of typical Portman estate houses, opposite the Model Farm, with large green verges that provide a feeling of openness

Figure 32: Multi pane casement window with red brick as decoration

Figure 33: Portman estate cottages, with typical red brick and blue banding, white sash windows and slate roofs (Source: Bryanston Non-Designated Heritage Assets List, V2)

Figure 34: A view toward Bryanston School and significant landscape



CA4. Blandford Residential



Blandford Residential is located to the north-east of the historic town centre. It is well separated from the River Stour and therefore not at risk from floods.

Land Use	The Character Area is primarily residential, with the exception of a convenience store and a Budgens garage.
Pattern Of Development	The Character Area consists of several housing estates that have been developed as the town has grown to the north-east. Higher density terraced housing is located closest to the town centre. Lower density detached housing is located further along Salisbury Road, further away from the town centre.
Building Line/Plot Arrangement	There is a range of residential typologies including detached, semi-detached, terraced and bungalows. Buildings are typically set back from the road with generous front gardens and on-plot parking, creating an open and leafy streetscape. The building line setback varies throughout the Character Area as a result of the estates being built over fifty years.
Boundary Treatment	Plots are most commonly defined by vegetation, but also in some instances, fences and low brick walls. This creates a leafy feel to the Character Area.
Heights & Roofline	The roofline in the Character Area is consistent, with building heights ranging from two to two and half storeys. The exception to this is an estate of bungalow houses to the east of the Character Area and areas of three storey detached houses on corner blocks.
Public Realm	The public realm consists of wide streets - typical five metres - with generous footpaths on either side. The Character Area also contains playing field, several pocket parks and an allotment.
Materials	Red brick, yellow brick and white render are the most prevalent building materials in the Character Area.

Images



F.35



F.36



F.37



F.38

Figure 35: Detached house with casement windows on Preetz Way

Figure 36: Detached house with a mix of flint and red brick on Salisbury Road

Figure 37: Terraced houses with dark brown pantiles on Elizabeth Road

Figure 38: The green space and mature trees on Fisher's Close softening the place

CA5. Industrial



Industrial estates are located to the south of Blandford Forum within the Blandford St Mary parish, and at the northern outskirts of the town. They consist of a variety of different units in terms of use, shape and size, and are buffered from the surrounding residential areas with vegetation.

The Industrial Character Area to the south of Blandford Forum is part of the wider Conservation Area designated in 1990. It contains the original building of the Hall and Woodhouse Brewery.

Land Use	The Industrial estates of Character Area provide a wide range of retail and services, ranging from farming and gardening equipment, vehicle repair and sale, and interior design (services).
Pattern Of Development	Cul-de-sacs are typical within industrial estates as there are large parking courts for large delivery vehicles. Warehouse buildings are squared and front onto the parking courts.
Building Line/Plot Arrangement	The building line is not consistent as building sizes and parking courts vary throughout the industrial estates. Buildings footprints occupy most of the plots, with the remainder of space dedicated to vehicle movement and parking.
Boundary Treatment	Plots are most commonly defined by large metal fences, particularly for safety and security around outdoor storage areas.
Heights & Roofline	The roofline in the Character Area varies, with building heights of two storeys.
Public Realm	The public realm consists of wide streets with on-street parking and grass verges but limited footpaths.
Materials	Brick and corrugated iron are the most prevalent building materials in the Character Area.

Images



Figure 39: Residential development next to industrial site (Source: Blandford Plus NP Steering Group)

Figure 40: Warehouses as part of the Hall and Woodhouse Brewery, Blandford St Mary (Source: Blandford Plus NP Steering Group)

Figure 41: New brewery buildings, Blandford St Mary (Source: Blandford Plus NP Steering Group)

Figure 42: Original brewery building of the Hall and Woodhouse Brewery, Blandford St Mary (Source: Blandford Plus NP Steering Group)

Figure 43: Sunrise Industrial estate situated on northern edge of Blandford Forum (Source: Blandford Plus NP Steering Group)



CA6. Edge of the Town



The edge of the town is located to the north-east of the Neighbourhood Area. It characterised by a green buffer in the form of fields between the settlement and the A350.

Land Use	The Character Area is primarily green space including arable farmland and the Milldown Nature Reserve. There are a small number of residential uses along Tin Pot Lane. A new school, allotment and residential development are proposed for this Character Area.
Pattern Of Development	Detached housing along Tin Pot Lane has been development on private cul-de-sac roads.
Building Line/Plot Arrangement	The orientation of the few buildings in the Character Area varies and therefore no consistent building line has been established. Large spacious plots provide gaps with views to the surrounding green space, which creates a rural character.
Boundary Treatment	Plots are most commonly defined by red brick walls and heavy vegetation. Back gardens are also vegetated, providing a buffer between the settlement and arable farmland. Fields are bounded by hedgerows and trees, which provide green corridors for wildlife.
Heights & Roofline	The roofline in the Character Area varies, with building heights below the tree line and ranging from two to two and half storeys.
Public Realm	The main public space of the Character Area is the Milldown Nature Reserve. The reserve contains a rich variety of woodland, scrub, grassland and downland home to a variety invertebrates especially butterflies and moths, over sixty species of birds and two hundred types of wildflowers.
Materials	Red brick and flint are the most prevalent building materials in the Character Area.

Images



Figure 44: Detached houses with medium-sized gardens sitting in a rural atmosphere (Source: Blandford Plus NP Steering Group)



Figure 45: Lamperds Field Allotments on Salisbury Road (Source: Blandford Plus NP Steering Group)

CA7. Blandford St Mary Residential



03

Blandford St Mary Residential is located south of the town centre. It is a triangular shaped development dominated by residential uses alongside the Tesco and Homebase supermarkets.

Part of the Blandford St Mary Residential Character Area directly south of Blandford Forum is part of the wider Conservation Area designated in 1990. It contains the listed buildings adjacent to the River Stour, namely Old Ford House and St Mary's Cottage.

Land Use	The Character Area is primarily residential, with the exception of the Blandford St Mary (primary school), St Mary's Church and Stour Inn.
Pattern Of Development	Residential areas consist of cul-de-sac streets with footpaths providing pedestrian connectivity.
Building Line/Plot Arrangement	Plots are typically large, providing generous front and back gardens. Houses are mostly terraced and semi-detached, which creates a consistent building line.
Boundary Treatment	Plots of are most commonly defined by hedges, which helps create a leafy feel to the streetscape. There are also some examples of timber fences and low brick walls.
Heights & Roofline	The roofline in the Character Area is mostly consistent, with building heights of two storeys with a hipped roof style. There are some examples of three storey buildings, which provide variation to the roofline.
Public Realm	The public realm consists of streets with grass verges. The Character Area also contains the Pigeon Close recreation ground and children's play park.
Materials	Red brick, yellow brick, white render, tiles and weatherboard are the most prevalent building materials in the Character Area.

Images



Figure 46: A row of terraced houses with hung tile and yellow brick on Bournemouth Road



Figure 47: Bungalows built with yellow brick and pitched roof with pantiles on Bournemouth Road

Figure 48: Semi- detached houses with casement window on Bournemouth Road



Figure 49: Spacious plots with deep front and back gardens on Pigeon Close



Figure 50: A view toward Birch Avenue on Railway Roundabout



CA8. Bryanston Rural Area



The stunning rural area of Bryanston is characterised by pastoral and arable farmland and ancient woodland, and a variety of Portman estate agricultural buildings and housing.

Land Use	The Character Area is primarily Pastoral and arable farmland with a range of farm buildings and former Portman estate dwellings.
Pattern Of Development	Small groups of detached, semi-detached and terraced housing are scattered sparsely within the rural landscape close to connecting roads, namely New Road, Walnut Avenue and Quarelston.
Building Line/Plot Arrangement	The orientation and setback of housing is not consistent and therefore no building line has been established.
Boundary Treatment	Plots and fields are defined by hedges and trees.
Heights & Roofline	Building heights in the Character Area is mostly consistent at two storeys and below the tree line.
Public Realm	The public realm comprises woodland and rolling fields, but with limited footpaths due to the historic character of the Portman estate farmland.
Materials	The most prevalent materials are red brick, with some blue banding, flint detailing, red clay tiled and slate roofs, with white timber sash and casement windows.

03

Images



F.51



F.52

Figure 51: Former Portman Estate Head Keeper's house and outbuildings in Walnut Avenue (Source: Bryanston Non-Designated Heritage Assets List, V2)

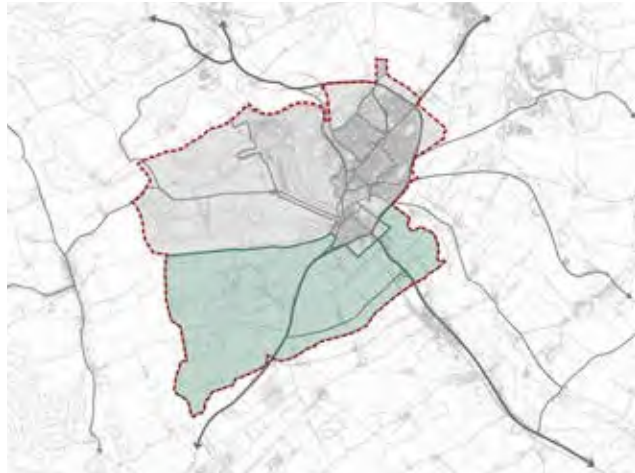
Figure 52: Quarleston House has a complex history, and was originally two cob cottages - Georgian or older. Now much modernised with extensions and in use as a single dwelling, but with very strong historic association with Portman Hunt (Source: Bryanston Non-Designated Heritage Assets List, V2)



F.53

Figure 53: Detached house with half-hipped roof fronting onto New Road, that was the former Portman Estate Game Keppers House. Off-white rendered facade and red clay-tile roof (Source: Google Earth)

CA9. Countryside of Blandford St Mary



The countryside of Blandford St Mary is in the south of the Neighbourhood Area. It is filled with arable farmland, woodland, small residential areas and a well-established campsite.

Land Use	The Character Area is primarily arable farmland with the majority of buildings being for a farm use. There is a small residential settlement with a church to the east of the Character Area and campsite amongst the woodland and fields.
Pattern Of Development	The small residential area is established on a loop road joining the A350 at both ends. Housing is orientated towards the road and setback in a generous front garden.
Building Line/Plot Arrangement	The setback of housing within general front gardens is consistent and establishes a building line along Church Lane.
Boundary Treatment	Plots and fields are defined by hedges, trees and shrubs.
Heights & Roofline	Building heights in the Character Area is mostly consistent at two storeys and below the tree line.
Public Realm	The public realm consists of streets with grass verges. There are no footpaths due to the rural character of the area. The Character Area also contains routes through the countryside, which encourage an active lifestyle.
Materials	Red brick, white render and flint are the most prevalent building materials in the Character Area.

Images



Figure 54: Blandford St Mary's Church, a Grade II* listed church dated back as early as the 14th century, Church Lane (Source: <https://www.bing.com/images>)

Figure 55: Cluster of semi-detached houses with generous front and back gardens, and large setbacks from Littleton Drove (Source: Google Earth)

Figure 56: One to two-storey houses and flats along Ward's Drove, backing onto surrounding fields with little setback from the road (Source: Google Earth)

Figure 57: Views of scenic open fields and farmland along Fair Mile Road, along the northern edge of the Character Area (Source: Google Earth)



A photograph of a two-story brick house with a semi-circular driveway and a large blue circular overlay containing text. The house is made of red brick with white window frames and a dark grey tiled roof. A large, well-maintained hedge runs along the front of the property. The sky is blue with scattered white clouds. The circular overlay is semi-transparent and contains the text "Design Guidance and Codes" and the number "04".

**Design Guidance and
Codes**

04

4. Design Guidance and Codes

This section sets out the principles that will influence the design of potential new development and inform the retrofit of existing properties in the Neighbourhood Area. Where possible, local images are used to exemplify the design guidelines and codes.

4.1 Introduction

The following section describes a set of design codes that have been put together based on the context and character areas of the Neighbourhood Area.

These codes will aim to guide any changes or development within the Neighbourhood Area to ensure the local character is respected whilst still allowing space for innovation within the built environment.

The structure of the design guidance and codes is detailed in **Section 4.1.2**. Other relevant policies, include those outlined in **Section 1**, should be read in conjunction with this design guidance and codes. The guidance and codes act as a support to these documents and should not be considered in isolation.

4.1.1 The importance of good design

As the NPPF (paragraph 126) notes, “good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities”.

Research, such as for the Government’s Commission for Architecture and the Built Environment (now part of the Design Council¹) has shown that good design of buildings and places can:

- Improve health and well-being;
- Increase civic pride and cultural activity;
- Reduce crime and anti-social behaviour; and
- Reduce pollution.

The Design Guidance and Codes seek to harness an understanding of what is good design in Blandford+ to ensure future development results in the greatest benefit to the community.

1. The Value of Urban Design, commissioned by CABE and DETR, 2001.

4.1.2 Design principles

These design codes are underpinned by a set of placemaking principles that should influence the design of future development. 'Placemaking' is about creating the physical conditions that residents and users find attractive and safe, with good levels of social interaction and layouts that are easily understood.

The placemaking principles set out in the following pages should be used to assess the design quality of future development or regeneration proposals. These key principles should be considered in all cases of future development as they reflect positive placemaking and draw on the principles set out in many national urban design best practice documents including the National Design Guide, Building for a Healthy Life and the Urban Design Compendium².

The guidelines developed in this part focus on residential environments and shopfronts. However, new development should not be viewed in isolation. The design of proposals must be informed by the wider local context and embodies a 'sense of place'.

2. [Urban Design Compendium, English Partnerships, 2000](#)

The local pattern of lanes and spaces, building traditions, materials and the natural environment should all help to determine the character and identity of a development. The first three chapters of this design guide provide a brief overview of the local context.

New development in the Neighbourhood Area should comply with the following principles:

- Thoughtfully respond to its context and the rural character areas;
- Reflect the character and appearance of any relevant Conservation Area and the significance of a heritage assets and their setting.
- Protect green spaces and contribute to the further greening;
- Promote active travel whilst reducing the dominance of parked cars on the streetscape; and
- Encourage environmentally-responsible design.

Structure of the design codes

Based on the understanding gained in the previous chapters, and in collaboration with the group, the following design codes. Future development in the Neighbourhood Area must adhere to these codes.

SL. Settlement Layout

SP. Streets and Parking

B. Built Form

EE. Environmental and Energy Efficiency

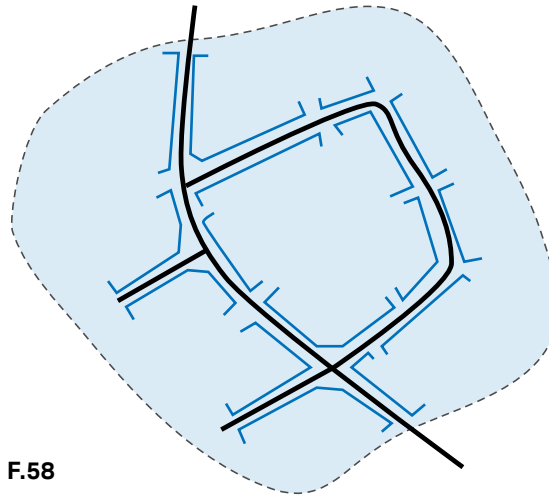
SL. Settlement Layout

CODE 1. PATTERN OF DEVELOPMENT

The pattern of development is varied throughout the Neighbourhood Area. Blandford Forum and Blandford St Mary have a nucleated development pattern with more recent development splaying outwards from the main core. On the other hand, Bryanston has a linear development pattern with large areas of undeveloped parkland and meadow.

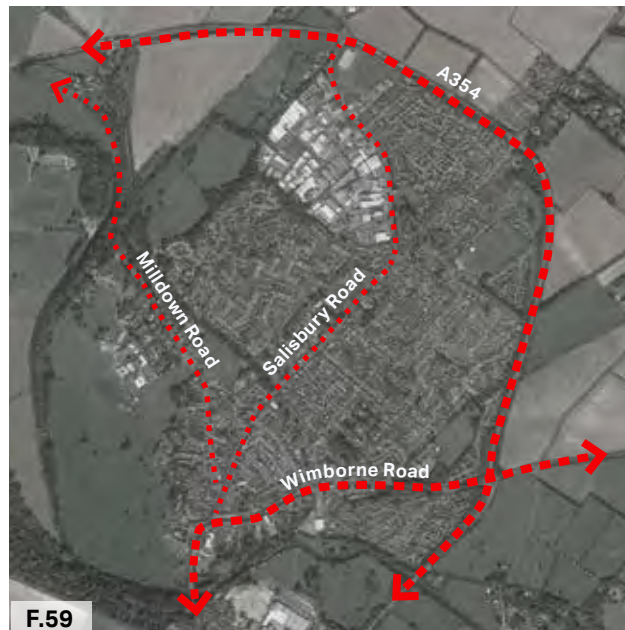
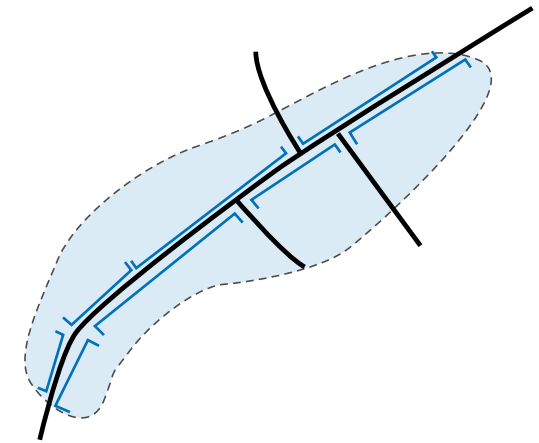
New development proposals should consider the following principles when designing the layout of streets and plots:

- Maintain the density and scale of development within its context;
- Respect the historic, landscape and other key features of the Neighbourhood Area;
- Maintain a positive aspect onto key spaces and features;



F.58

Figure 58: Diagram showing a nucleated development pattern (left) and a linear pattern development (right)



F.59

Figure 59: Nucleated pattern in Blandford Forum



F.60

Figure 60: Linear pattern development in Bryanston along The Cliff

- Linear development patterns almost always orientates inwards towards the main road and turns its back towards the landscape to the rear. Reinforce the linearity of the street with building frontages, where possible;
- Avoid development with a hard edge which imposes an abrupt transition from the settlement to the surrounding countryside. Suitable boundary treatments on the periphery of the settlement may include low walls to soft landscaped edges; and
- Burgage plots are a significant feature in the medieval town layout of Blandford Forum. They provide a worthy backdrop upon which the Georgian town sits adjacent to the river. These plots are extremely vulnerable to large scale development. Several burgage plots have been lost to development and modern housing. These medieval features should remain intact by avoiding the amalgamation of burgage plots.



F.61

Figure 61: Burgage plots within the medieval town centre between 1841-1952 (Source: <https://www.oldmapsonline.org/map/nls/101446484>)



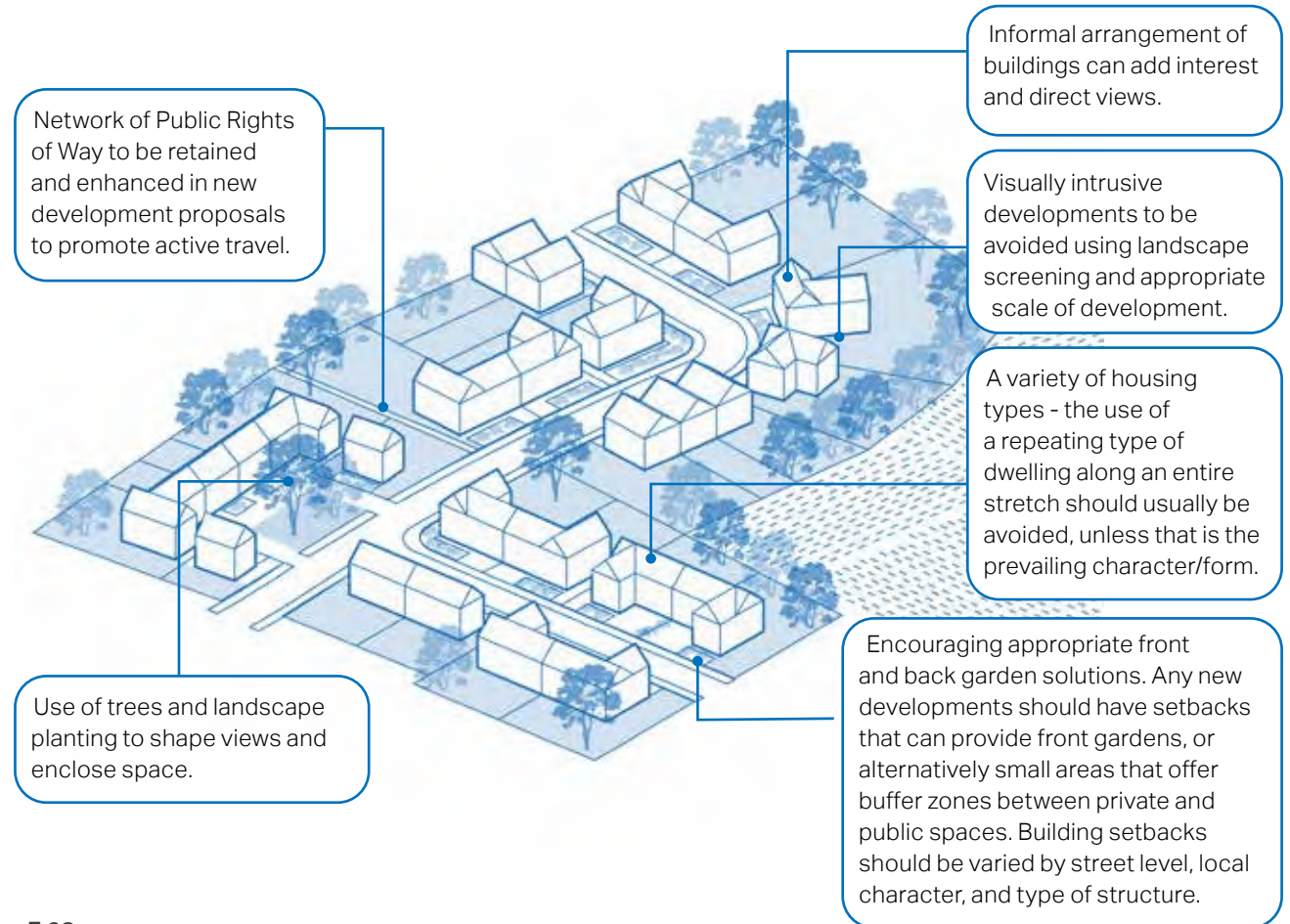
F.62

Figure 62: Some burgage plots have been lost due to modern infill developments (Source: Google Earth)

CODE 2. LAYOUT OF BUILDING

The Neighbourhood Area owes much of its character to the historic pattern and layout of its buildings. New developments should respect the particular building patterns of the settlement in order to contribute positively to the local character. In particular:

- Parts of the Neighbourhood Area demonstrates a sense of enclosure and a continuous building line. New development should strive to knit in with the existing settlement morphology by adopting similar characteristics;
- Development should be considered strategically at the settlement level and should not be considered in isolation;
- New development should be planned to be permeable to promote active travel at all times. It is important to provide plentiful non-vehicular connections, particularly to the town centre;



F.63

Figure 63: Diagram showing layout of building elements such as enhancing PRow networks, respecting views, and encouraging front and back gardens

- Layout, clustering and massing should take precedent from the best examples of development within the surrounding context. The adjacent images illustrate some precedent examples from the Neighbourhood Area; and
- New development should respond to site specific micro-climates and sun paths to increase the environmental comfort for building users, both internally and externally.



from the pavement

Figure 65: Two-storey terraced Portman estate cottages opposite the Model Farm complex, with broad open communal frontage, providing a rural atmosphere in Bryanston village

Figure 66: Semi-detached houses with medium- size front and back gardens

SP. Streets and parking

The following pages set out guidance that should, where appropriate, be considered when considering proposals for development within the Neighbourhood Area.

The Dorset AONB covers part of the Neighbourhood Area. Planning and development resources that support the Dorset AONB Management Plan provide further guidance for rural roads.

CODE 3. PEOPLE-FRIENDLY STREETS

It is essential that the design of new development includes streets and junctions that incorporate the needs of pedestrians, cyclists, and, if applicable, public transport users. Some guidelines for future development are:

- New streets should be linear with gentle meandering, providing interest and evolving views while helping with orientation. Routes must be laid out in a connected pattern allowing for multiple

connections and choice of routes, particularly on foot. Cul-de-sacs must be relatively short and provide onward pedestrian and cycle links;

- Within the settlement boundaries, streets must not be built to maximise vehicle speed or capacity. Streets and junctions must be designed with the safety and accessibility of vulnerable groups in mind, such as children and wheelchair users, and may introduce a range of traffic calming measures;
- Streets must incorporate opportunities for street trees, green infrastructure, and sustainable drainage. See **CODE.18** for typical drainage solutions;
- Where appropriate, cycle paths should be incorporated into street design to encourage active transport use;
- Traffic calming should be achieved by design using landscaping, street parking and building layout, and avoid traditional forms of engineered traffic calming like

humps, cushions and chicanes;

- Crossing points that are safe, convenient, and accessible for pedestrians of all abilities must be placed at frequent intervals on pedestrian desire lines and at key nodes;



Figure 67: Wide pavements allow pedestrian flow on Market place

- Junctions must enable good visibility between vehicles and pedestrians. For this purpose, street furniture, planting, and parked cars must be kept away from visibility splays to avoid obstructing sight lines;
- At junctions with minor roads, the carriageway surface should be raised across a pedestrian crossing to prioritise pedestrian movement;
- Sufficient width of footway should be provided to facilitate a variety of mobilities, such as young family with buggies, mobility scooter, wheelchairs, etc. The Department for Transport Manual for Streets (2007)¹ states there is no maximum width for footways, it suggests that in lightly used streets, the minimum unobstructed width for pedestrians should generally be two metres; and
- New street design should include dedicated areas for cycle parking.



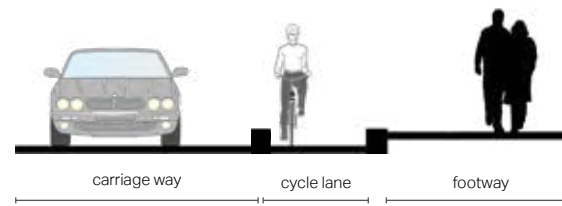
F.68

Figure 68: Local example of a gently meandering street with segregated footpath. The width of footway should be at least two metres to provide a safe environment for people



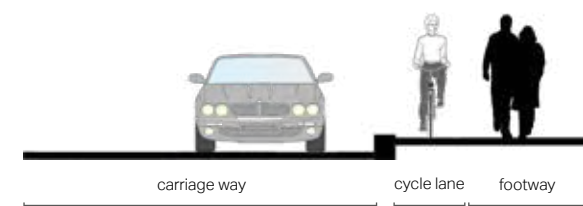
F.69

Figure 69: Local example of a pedestrian priority residential street in old Bryanston that hosts green verges and trees, offering a pleasant environment for pedestrians



F.70

Figure 70: Cross-section illustrating a segregated cycleway



F.71

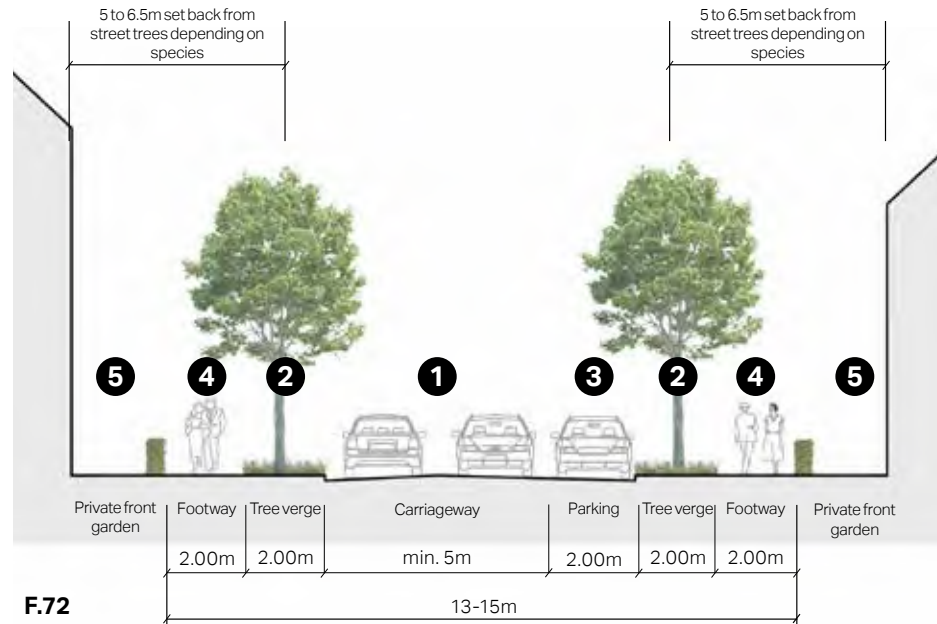
Figure 71: Cross-section illustrating a shared cycleway. The shared use footways in urban areas should be discouraged. It might be acceptable, if well-designated: alongside interurban and arterial roads with few pedestrians; at junctions or short transitions; and where high cycle and pedestrian flows occur in different times of the day (Source: Local Transport Note 1/20, July 2020)

1. Manual for Streets (2007). Available at: <https://www.gov.uk/government/publications/manual-for-streets>

Residential Streets Type 1

Some guidelines for this type of residential streets are:

- This residential streets provide access between main streets and neighbourhoods. They should emphasise the human scale and be designed for lower traffic volumes compared to primary streets;
- These streets should accommodate carriageways wide enough for two-way traffic and on-street parallel car parking bays. On-street parking may be on or accommodated on the street or inset into green verges;
- Carriageways should be designed to be shared between motor vehicles and cyclists. Green verges should be proposed along the streets; and
- Where possible, these streets should be lined by large street trees on both sides. Species of trees should have a root system that does not compromise the integrity of the pavement and underground services.



F.72

Figure 72: Cross-section to illustrate some guidelines for residential streets type 1



F.73

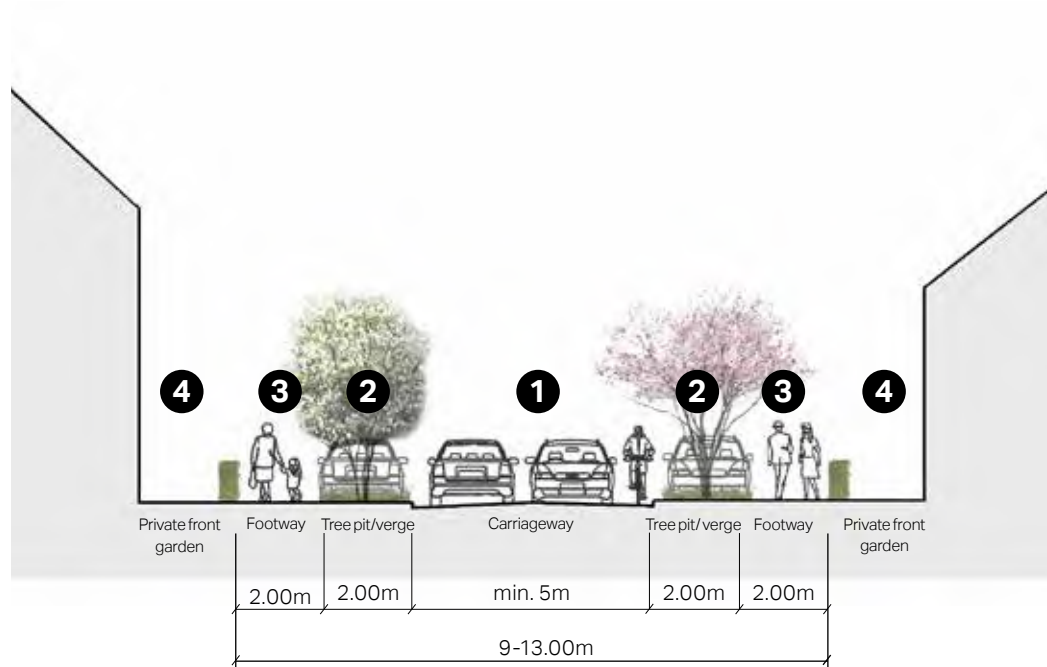
Figure 73: Example of a residential street type 1, Salisbury Road

1. Shared carriageway (neighbourhood traffic). Traffic calming measures may be introduced at key locations if needed.
2. Green verge with large street trees. The latter are optional but would be positive additions.
3. Parking bay (may also be inset into verges).
4. Footway - utilities typically located underneath.
5. Residential frontage with boundary hedges and front gardens.

Residential Streets Type 2

Some guidelines for this type of residential streets are:

- These streets have a strong residential character and provide direct access to residences from the previous type of streets. They should be designed for low traffic volumes and low speeds, ideally 20 mph;
- Carriageways should accommodate two-way traffic, cyclists and parking bays. These streets should also accommodate footways, with a two metre minimum width on both sides, and must be designed for cyclists to mix with motor vehicles;
- These streets should be formed with a high degree of built form enclosure, with consistent building lines and setbacks;
- Small street trees should be provided with suitable gaps, wherever possible.



F.74

Figure 74: Cross-section to illustrate some guidelines for residential streets type 2



F.75

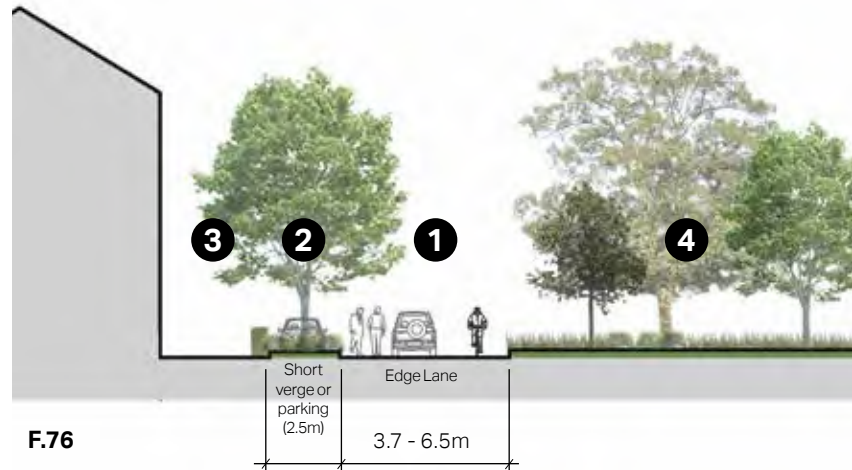
Figure 75: Local example of a residential streets type 2, Chapel Gardens in Blandford Forum

1. Carriageway should accommodate both vehicles and cyclists (local access). Tree verge or pit with small trees. The latter are optional but would be positive additions. Parking bays on both sides of the carriageway to alternate with trees to avoid impeding moving traffic or pedestrians.
2. Footway.
3. Residential frontage with boundary hedges and front gardens.
4. Residential frontage with boundary hedges and front gardens.

Edge Lanes

Some guidelines for this type of residential streets are:

- All the edges of new development areas should be served by continuous Edge Lanes to provide high level of connectivity;
- Edge lanes are low-speed and low-traffic streets that front houses with gardens on one side and a green space on the other. Carriageways typically consist of a single lane of traffic in either direction, and are shared with cyclists;
- The lane width can vary to discourage speeding and introduce a more informal and intimate character. Variations in paving materials and textures can be used instead of kerbs or road markings; and
- Edge lanes should be continuous providing high level of connectivity and movement. Cul-de-sacs must be avoided.



F.76

Figure 76: Cross-section to illustrate some guidelines for edge lanes

1. Shared lane (local access) - width to vary.
2. Green verge with trees. It is optional but would be positive additions. Parking bays to be interspersed with trees to avoid impeding moving traffic or pedestrians.
3. Residential frontage with boundary hedges and front gardens.
4. Green space and potential for implementing swales into the landscaping.



F.77



Figure 77: Examples of an edge lane. Left picture is Dewenthorpe and the right picture is Poundbury

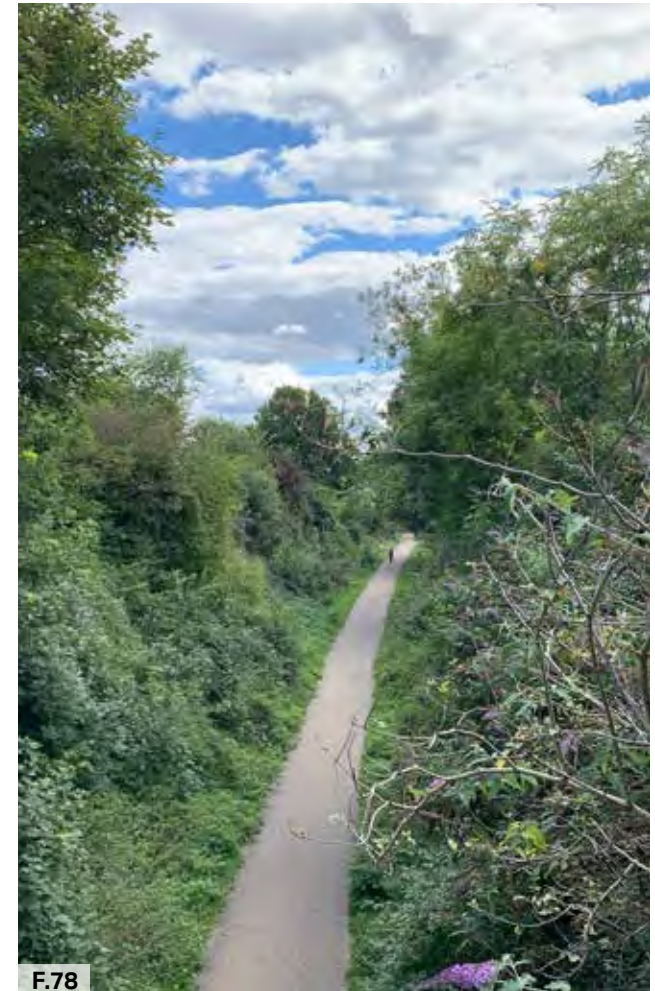
CODE 4. ACTIVE TRAVEL

There are various lanes, closely enclosed by buildings. These lanes connect the surrounding spaces to East Street. Apart from these, there are good number of footpaths and cycleways within the Neighbourhood Area. Increasing the number of residents walking and cycling around the town and other parishes is an important part of improving health and the quality of their experience.

- Where there is a choice, new development areas that generate the least amount of car movements and are within a comfortable walking distance of local services should be prioritised. This will help to promote active travel, an important feature of 'liveable' neighbourhoods;
- New development should ensure that pedestrian and cycle routes are incorporated into new designs ensuring that the option to travel on foot or by bike is incentivised. These routes should

form an active travel network by linking to key services along Market Place, East Street, The Cliff and Bournemouth Road and to other existing routes;

- Users of public and private space are varied and include disabled users, parents/carers with buggies and young children. It is important for these users to be catered for when designing new development;
- Walking routes along a roadway should provide safety from vehicles on the road. This requires a footway, grass verge or pavement that is wide enough (depending on the road types it could be between 2-2.6 metre) to ensure pedestrians do not conflict with vehicles; and
- Walking routes should not pass through hazardous areas such as fields with dykes, ditches or areas of flooding.



F.78

Figure 78: Trailway in Blandford Forum being used as walking and cycling paths

CODE 5. LEGIBILITY AND WAYFINDING

It is important for new development to help people to orientate themselves, particularly for people with dementia and related cognitive and sensory challenges. Signposts, landmarks and a simple layout of public spaces and streets supports legibility and wayfinding. Some guidelines for new development to enhance legibility and wayfinding are:

- A familiar and recognisable environment makes it easier for people to find their way around. Obvious and unambiguous features should be designed in new development;
- Buildings which are located at corners, crossroads or along a main road could play a significant role in navigation;
- At a local level, landmark elements could be a distinctive house, public art, or even an old and sizeable tree;

- New signage design should be easy to read. Elements like languages, fonts, text sizes, colours and symbols should be clear and concise, and avoid confusion;
- Signage can also help highlight existing and newly proposed footpaths and cycle lanes, encouraging people to use them more;
- Signage should be strategically located to signalise gateways and access points, creating connections with important places and destinations; and
- Signage elements and techniques should be appropriate to the character of the area and be a nice fit to the existing architectural style and details.
- Signage be used in a manner which avoids unnecessary street clutter.



F.79

Figure 79: Corn Exchange as a landmark on Market Place built with distinctive materials



F.80



Figure 80: Different signage for the town centre (right) and for more informal spaces (left)

CODE 6. CAR PARKING SOLUTIONS

Parking areas are a necessity of modern development and should be delivered as an exercise of placemaking. They do not need to be unsightly or dominate views towards housing. Some guidelines for new development to consider are:

- When placing parking at the front of a property, the area should be designed to minimise its visual impact and to blend with the existing streetscape and materials. The aim is to keep a sense of enclosure and to break the potential of a continuous area of car parking in front of the dwellings. This can be achieved by means of walls, hedging, planting, and the use of quality paving materials;
- When needed, residential car parking can be translated into a mix of on-plot side, front, garage, and courtyard parking, complemented by on-street parking;
- For family homes, cars should be placed at the side (preferably) or front of the property. For small pockets of housing, a rear court is acceptable;
- Car parking design should be combined with adequate landscaping to minimise the presence of vehicles; and
- Parking areas and driveways should be designed to improve impervious surfaces, for example, through the use of permeable paving.



F.81

Figure 81: On-street parking can be softened by planting more trees, planters, green verges



F.82

Figure 82: On-plot parking with garage

ON-STREET PARKING

On-street parking is the only parking option for several dwellings within the Conservation Areas. In order to reduce the visual impact of parked cars on the street, on-street parking as the only means of parking should either be avoided in future development or softened by landscaping wherever possible.

- On-street parking must be designed to serve as informal traffic calming but avoid impeding the flow of pedestrians, cyclists, and other vehicles;
- On low-traffic residential streets or lanes that are shared between vehicles and pedestrians, parking bays can be clearly marked using changes in paving materials instead of road markings; and
- Opportunities must be created for new public car parking spaces to include electric vehicle charging points. Every opportunity must be taken to integrate charging technologies into the fabric of

the road and street furniture in both the public and private realm.

- Within conservation areas, additional consideration must be given to ensure that integrated EV charging points are discrete and compliment their historic setting.

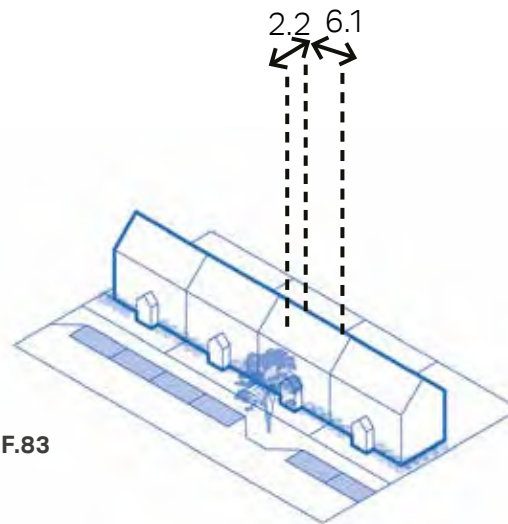


Figure 83: Illustrative diagram showing an indicative layout and minimum dimensions of on-street parking



F.84

Figure 84: On- street parking on Market Place

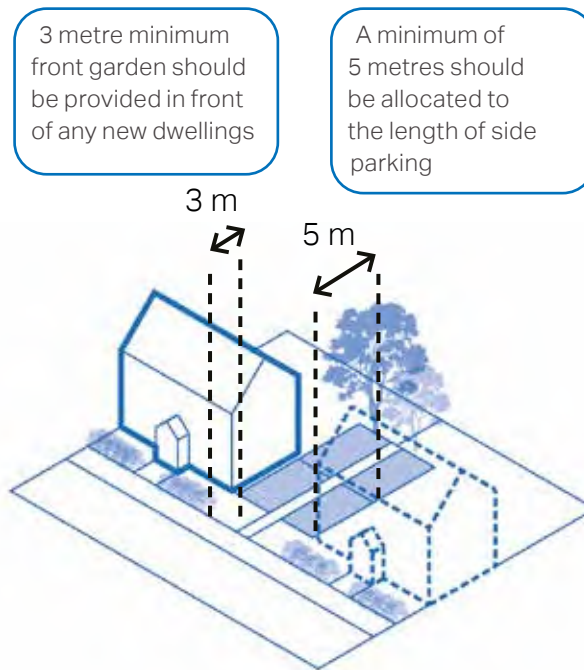


F.85

Figure 85: Inset on-street parking with electric vehicle charging points

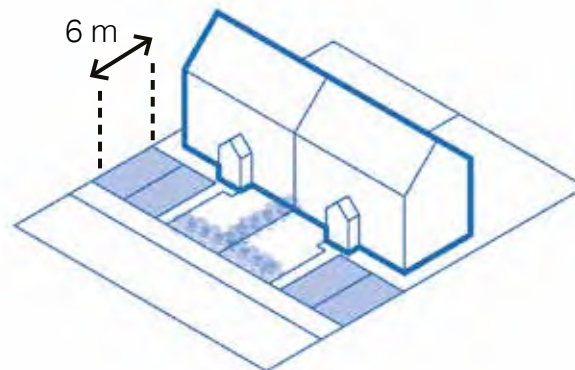
ON-PLOT SIDE OR FRONT PARKING

- Parking provided on driveways directly in front of dwellings should be restricted due to the visual impact that cars have on the street. Therefore, a maximum of two dwellings in a row will be permitted to provide parking in this way. Front gardens should be a minimum depth of six metres to allow movement around parked vehicles and also be well screened with hedgerows when providing parking space to the front of a dwelling;
- Parking being provided on a driveway to the side of a dwelling should be of sufficient length (five metre minimum) so that a car can park behind the frontage line of the dwelling. This will reduce the visual impact that cars will have on the street scene. When parking is provided to the side of a dwelling a minimum front garden depth of three metres should be provided; and
- Where possible, electric vehicle charging points should be incorporated into on-plot parking in new developments to promote more sustainable modes of transport.



F.86

A minimum of 6 metres should be allocated to the length of on-plot parking



F.87

Figure 86: Illustrative diagram showing the indicative layout of and minimum dimensions of on-plot side parking

Figure 87: Illustrative diagram showing an indicative layout and minimum dimensions of on-plot front parking

Figure 88: On-plot side parking on Elizabeth Road

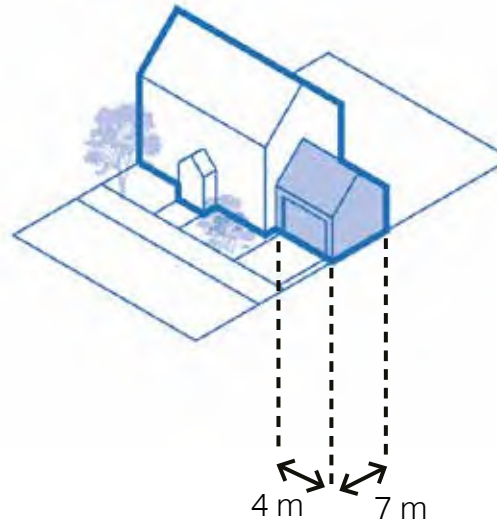
Figure 89: On-plot parking on Preetz Way and partially screened by a hedgerow



GARAGE PARKING

Parking being provided in a garage to the side of a dwelling should be in line with, or slightly set back from the frontage line of the existing dwelling. This is to ensure garages are in keeping with the character of the existing settlement and will reduce the visual impact of cars on the street. Garages should also provide sufficient room for cars to park inside them as well as providing some room for storage and cycle storage. The minimum internal dimensions of a garage should therefore be 7 x 4 metres.

- Where possible cycle parking should be accessed from the front of the building either in a specially constructed enclosure or easily accessible garage;
- The design of any enclosure should integrate well with the surroundings; and
- Bikes must be wheeled out easily without having to move the vehicle.



F.90

The minimum internal dimensions of a garage should be 7m x 4m

Figure 90: Illustrative diagram showing an indicative layout of on-plot garage parking



F.91

Figure 91: Garage parking on Preetz Way screened by sufficient landscaping

PARKING COURTYARD

- This parking arrangement can be appropriate for a wide range of land uses. It is especially suitable for terraces fronting busier roads where it is impossible to provide direct access to individual parking spaces;
- Ideally all parking courts should benefit from natural surveillance;
- Parking courts should complement the public realm; hence it is important that high-quality design and materials, both for hard and soft landscaping elements, are used; and
- Parking bays must be arranged into clusters with groups of four spaces as a maximum. Parking clusters should be interspersed with trees and soft landscaping to provide shade, visual interest and to reduce both heat island effects and impervious surface areas.

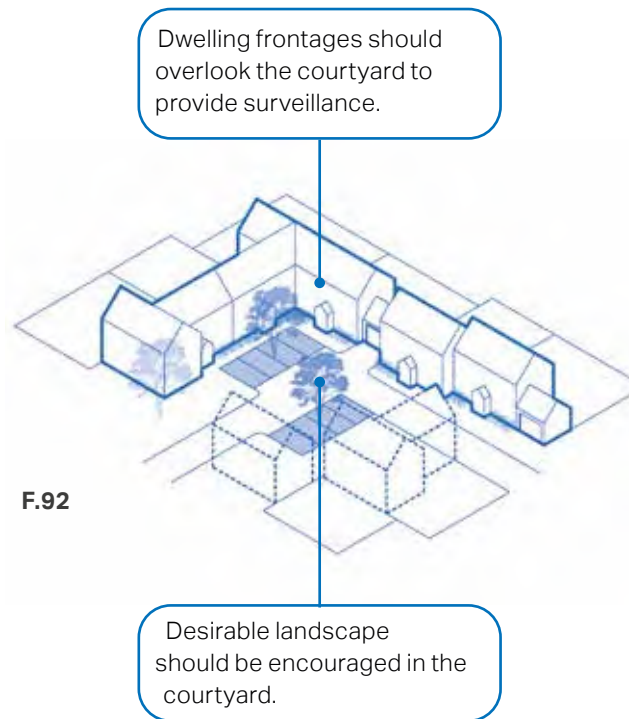


Figure 92: Illustrative diagram showing an indicative layout of parking courtyards



Figure 93: Courtyard parking on Fairfield Road. The courtyard parking can be softened by proposing adequate landscaping

CODE 7. INCLUSION OF STRATEGIC GREEN INFRASTRUCTURE AND LANDSCAPING

The Neighbourhood Plan designates a Green Infrastructure Network to promote sustainable movement and ecological connectivity through the town and adjacent parishes. The network includes local green spaces, informal open spaces, allotments, playing fields, off-street footpaths/cycleways, children's play areas, woodland and land of biodiversity value. Refer to the Neighbourhood Plan for more information.

Landscaping, green spaces and trees provide shading and cooling, absorb carbon dioxide, act as habitats and green links for species, reduce air pollution and assist water attenuation and humidity regulation. For people, they help alleviate stress and anxiety, help with recovery from ill-health and create a sense of positive mental health and well-being. In addition, they add life to the landscape and help shape and add character to open spaces.

The following guidelines focus on the design aspects and appearance of planting and trees in private gardens as well as public open spaces and streets, which contribute to establishing the Green Infrastructure Network.



F.94

Figure 94: An indicative diagram showing green spaces and landscape planting

IMPROVE GREEN INFRASTRUCTURE NETWORK

The designated Green Infrastructure Network should be maintained and enhanced where possible. There are opportunities to green the existing streets and courtyards to complete the Green Infrastructure Network and to contribute to the biodiversity connectivity.

- Green Infrastructure Network should link open spaces, settlements and wide rural areas together;
- Sustainable urban Drainage System (SuDS) could be introduced when possible and incorporated in the design of green corridors;
- Developments should front onto and have access from the Green Infrastructure Network;
- Green Infrastructure Network could contain some formal provision - such as a Neighbourhood Equipped Area of

Play (NEAP), playing fields and an area for active recreation - to improve the health and well-being of individuals and promote inclusive communities; and

- Existing streets can be retrofitted by introducing verges or street trees to complete the Green Infrastructure Network connectivity and contribute to the biodiversity network.

PLANTING STANDARD

- Respect existing Tree Preservation Orders (TPO) and mature trees, incorporating them into the new landscape design and using them as accents and landmarks, where appropriate;
- Consider canopy size when locating trees. Reducing the overall number of trees but increasing the size of trees is likely to have the greatest positive long-term impact;
- Size of tree pits should allow sufficient soil around the tree. Ensure tree stems

are in the centre of the verge to provide a one metre clearance of the footway or carriageway;

- New trees should be added to strengthen vistas, focal points and movement corridors, while retaining clear visibility into and out of amenity spaces. They should, however, not block key view corridors and vehicular circulation sight lines;
- New trees should be integrated into the design of new developments from the outset rather than left as an afterthought to avoid conflicts with above- and below-ground utilities;
- To ensure resilience and increase visual interest, a variety of tree species is preferred over a single one. Tree species should be chosen to reflect the prevailing landscape character, soil conditions and the associated mix of native species of local provenance, but should also have regard to climate change, environmental/habitat benefits, size at maturity and ornamental qualities;

- Regulations, standards, and guidelines relevant to the planting and maintenance of trees include:
 - Trees in the Townscape: A Guide for Decision Makers;¹
 - Tree Species Selection for Green Infrastructure;² and
 - BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations.³

¹ Trees & Design Action Group (2012). *Trees in the Townscape: A Guide for Decision Makers*. Available at: http://www.tdag.org.uk/uploads/4/2/8/0/4280686/tdag_treesinthetownscape.pdf

² Trees & Design Action Group (2019). *Tree Species Selection for Green Infrastructure*. Available at: http://www.tdag.org.uk/uploads/4/2/8/0/4280686/tdag_treespeciesguidev1.3.pdf

³ British Standards Institution (2014). *BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations*. Available at: <https://shop.bsigroup.com/ProductDetail/?pid=000000000030219672>

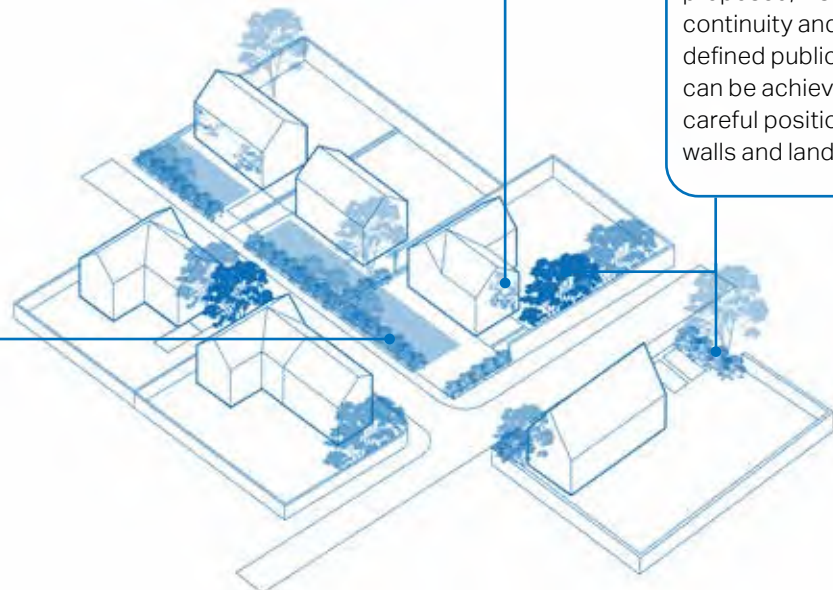
GIVE SPATIAL ENCLOSURE AND PROVIDE SCREENING AND PRIVACY

The use of hedges, hedgerow trees and walls contributes to the strong character of the area and a sense of enclosure. To respect the existing context, both the building and the boundary feature should be consistent with the prevailing character, although there should be some allowance for some variation to provide added visual interest.

Tree-lined streets and landscaping with boundary treatments can help to enhance the public realm and complement the character of the place

Climbing plants can add interest to walls and features

Where a looser pattern of development is proposed, visual continuity and well-defined public realm can be achieved by the careful positioning of walls and landscaping



F.95
Figure 95: Diagram showing trees and landscaping that complement the public realm and create a sense of enclosure

- Existing hedges, hedgerow, green verges, trees and walls should, wherever appropriate, be retained to contribute to this sense of enclosure. Additional or replacement hedges and trees should be planted to maintain the continuity of existing hedges; and
- Where appropriate and feasible, any new developments should have setbacks that allow for front gardens or else a small area to provide a planted buffer zone between the private space and public space.

FORM FOCAL POINTS AND FRAME VIEWS

In addition to the intrinsic value of trees, they can also have a practical use value. In a small-scale open space, trees provide a focal point of interest.

COMPLEMENT THE PUBLIC REALM AND ENHANCE THE BUILT ENVIRONMENT AND LOCAL IDENTITY

Planting can make an appreciable difference to the appearance of an area, as well as adding to the local identity.

- New development should use boundary features which are complementary to the street and enhance the character of the village. The use of trees, hedges and planting in publicly visible areas, including edges and interfaces, should be encouraged; and
- Climbing plants are good at screening features such as garages, blank walls and fences.



F.96

Figure 96: A mature tree as a focal point on Fisher's Close



F.97



F.98



F.99



F.100

Figure 97: Maintain and enhance the existing green verges in Bryanston

Figure 98: River Stour and the natural environment provide a significant view on Stour Meadow

Figure 99: A view towards Bryanston School

Figure 100: Woodhouse Garden, a well-maintained green space at the heart of town centre on The Close

CODE 8. STREET LIGHTING AND DARK SKIES

The 'dark skies' character of the countryside should be protected. Dark skies benefit both people and wildlife.

Any new development should minimise impact on the existing 'dark skies' within the settlements and reduce light pollution that disrupts the natural habitat and human health.

The following guidelines aim to ensure there is enough consideration given at the design stage:

- Street lighting should be avoided within areas of public realm, in line with existing settlement character;
- Ensure that lighting schemes such as LED streetlights will not cause unacceptable levels of light pollution, particularly in intrinsically dark areas. These can be areas very close to the countryside or where dark skies are enjoyed;

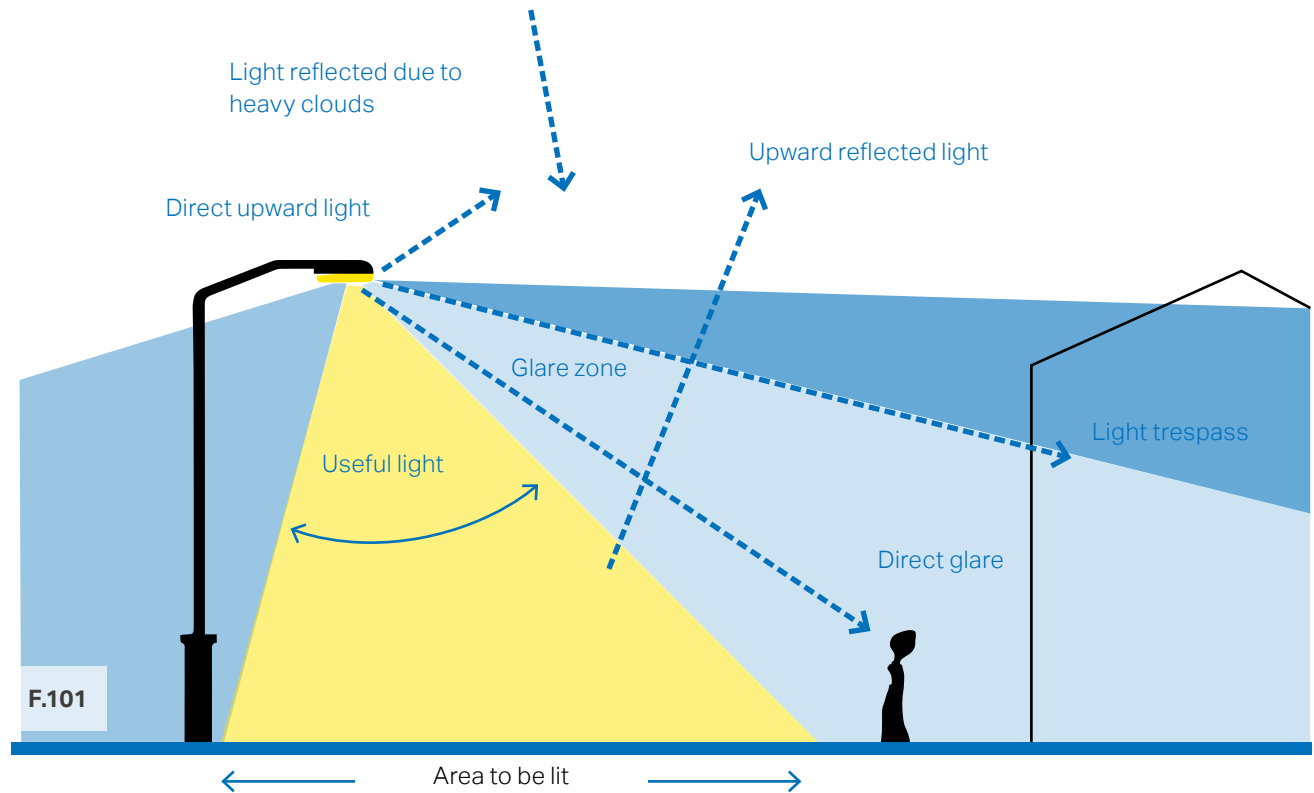


Figure 101: Indicative diagram to illustrate the different components of light pollution and what 'good' lighting means

- Residential lighting i.e. on or around the property; is to be sympathetic with the location and be of low light levels so as to avoid excessive light pollution;
- Consider lighting schemes that could be turned off when not needed ('part-night lighting') to reduce any potential adverse effects; i.e. when a business is closed or, in outdoor areas, switching off at quiet times between midnight and 5am or 6am. Planning conditions could potentially be used to enforce this. External lighting schemes should be PIR controlled and unnecessary lighting avoided;
- Impact on sensitive wildlife receptors throughout the year, or at particular times (e.g. on migration routes), may be mitigated by the design of the lighting or by turning it off or down at sensitive times;
- Glare should be avoided, particularly for safety reasons. This is the uncomfortable brightness of a light source due to the excessive contrast between bright and dark areas in the field of view. Consequently, the perceived glare depends on the brightness of the background against which it is viewed. Glare is affected by the quantity and directional attributes of the source. Where appropriate, lighting schemes could include 'dimming' to lower the level of lighting (e.g. during periods of reduced use of an area, when higher lighting levels are not needed);
- The needs of particular individuals or groups should be considered, where appropriate (e.g. the safety of pedestrians and cyclists); and
- Any new developments and house extensions designs should encourage the use of natural light sources.

CODE 9. SHOPFRONTS

Shops make a significant contribute to the distinguished character of the town and village centres of the Neighbourhood Area. Any shopfronts should demonstrate adherence to the The North Dorset Guide to Shopfront Design 2014¹. This guide sets out fundamental principles for architectural elements, which must be addressed by development proposals. It also sets out the general considerations for the streetscene, building as a whole and details. This design guide does not repeat these relevant fundamental principles and general considerations.

In addition to consider the guide, the development of new shopfronts should take account of rhythm and character of the street such as the width of building, the horizontal or vertical emphasis, the variety of style and architecture of the building itself. Where the shopfront continues to another building, a change in its design may be required.

¹ [North Dorset Guide to Shopfront Design 2014](#)



F.102

Figure 102: A good example of shopfront design in the Neighbourhood Area

B. Built Form

The following section outlines guidelines that should be considered by developers when creating new development within the Neighbourhood Area. Some of the following guidance is directed at development on existing plots, such as infill developments, though many can be applied to both new and existing development.

In general, the form of historic parts areas in the Neighbourhood Area consist of medium-size plots and dwellings. However, burgage plots are also a significant feature within the historic core of the town. While this is appropriate when development or redevelopment occurs in those areas, newer development areas should establish a coherent form in accordance with contemporary best practice. That is, there should be a proportional relationship between the plot size, dwelling and spaces between the dwellings. The following illustrative diagrams show this intention and new proposals would need to demonstrate that this has been observed.

The structure of the following codes generally starts with policies on a larger scale and subsequently moves to codes related to specific built form details.



F.103

Figure 103: A detached house with feature gable on Preetz Way

CODE 10. DEFINE FRONT AND BACK GARDENS

Consideration for the ratio of garden space to built form within the plot is critical to ensure that the sense of openness and green space within the town and adjacent parishes is maintained.

There are different garden dimensions in each of the Character Areas. The majority have front and back gardens ranging between 3-9 metres and 9-14 metres, respectively. Bryanston is an exception to this, which has more generous gardens. The average front and back garden sizes in Bryanston are between 10-15 metres and 20-35 metres, respectively.

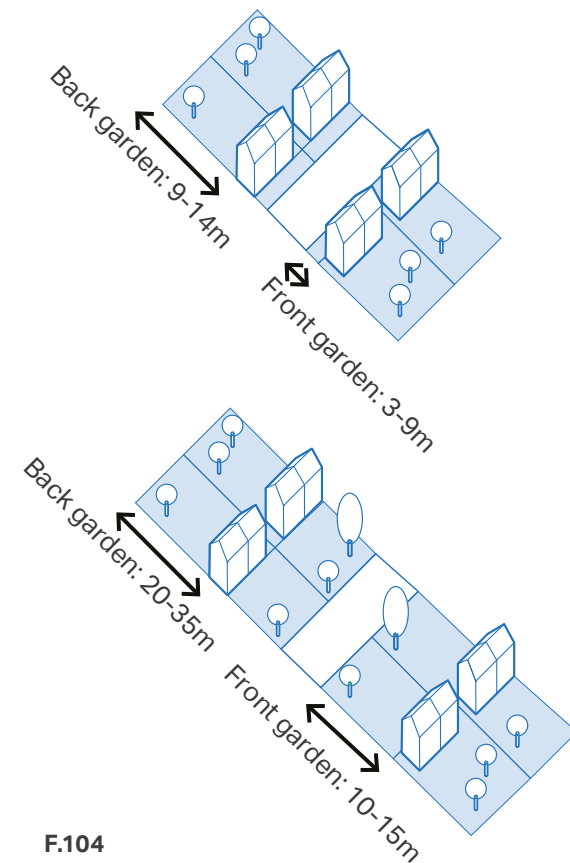
In Blandford Forum, back gardens are enclosed by brick walls or wooden fences, whilst front gardens are often open-plan.

The front and back gardens in Blandford St Mary are small. The front gardens of the semi-detached houses have access to the footpath and are generally the length of a car. Most provide parking for one car in the front setback and are boarded by hedges.

Bryanston has small front and secluded back gardens. Generally, back gardens should be a minimum depth of 10 metres and provide a minimum area of 50 square metres of useable amenity space.

North facing back gardens should exceed 10 metres in length to ensure sunlight is maximised.

In general, avoid replacing green spaces with infill development or backland development (see **CODE 14**).



F.104

Figure 104: Different proportion of green space varied. From top (CA1, CA2, CA3, CA5) and bottom (The Cliff in Bryanston)

CODE 11. RESPECT MASSING, ROOFSCAPE AND HEIGHT

The average building heights in Blandford Forum, Blandford St Mary and Bryanston is 2.5, 2 and 1.5 storeys, respectively.

- Massing, roofscape and height should take into account the character of any relevant Conservation Area, and the significance of any heritage assets. For example, the three storey Brewery Site is an unsympathetic local example;
- Roofs in the village tend to be pitched, with some hipped examples, which should be reflected by new development. The use of red, dark pink tile and slate are widespread and should be the primary roofing material for new development;
- Subtle variations in height should be created by altering eaves and ridge heights to add visual interest. The bulk and pitch of roofs, however, must remain sympathetic to the tree canopy,

the local vernacular, and the low-lying character of the town. Another way to achieve visual interest could be by varying frontage widths and plan forms;

- The massing of new buildings must ensure a sufficient level of privacy and access to natural light for their occupants and avoid overshadowing existing buildings. New buildings must not significantly compromise existing property views of open and green spaces and big skies;
- Innovation which explores the integration of green roof should be encouraged;
- The scale of the roof should always be in proportion to the dimensions of the building itself. Flat roofs for buildings, extensions, garages should be avoided; and
- Chimney type and height should be congruent with the typical chimney precedent examples.



F.105

Figure 105: Brewery redevelopment is not in keeping with adjacent development blocking views to the countryside and affect adjacent listed building (Source: Blandford Plus NP Steering Group)



F.106

Figure 106: Subtle variation in height and use of dormers and chimney stacks add visual interest to the streetscape on Market Place

CODE 12. ESTABLISH A CONSISTENT PROPERTY BOUNDARY

- Buildings should front onto streets. The building line can have subtle variations in the form of recesses and protrusions, but will generally be consistent;
- Buildings should be designed to ensure that streets and/or public spaces have good levels of natural surveillance from adjacent buildings. This can be achieved by placing ground floor habitable rooms and upper floor windows facing the street;
- Natural boundary treatments should reinforce the sense of continuity of the building line and help define the street, appropriate to the character of the area. They should be mainly continuous hedges and low walls, as appropriate, made of traditional materials found elsewhere in the Neighbourhood Area;

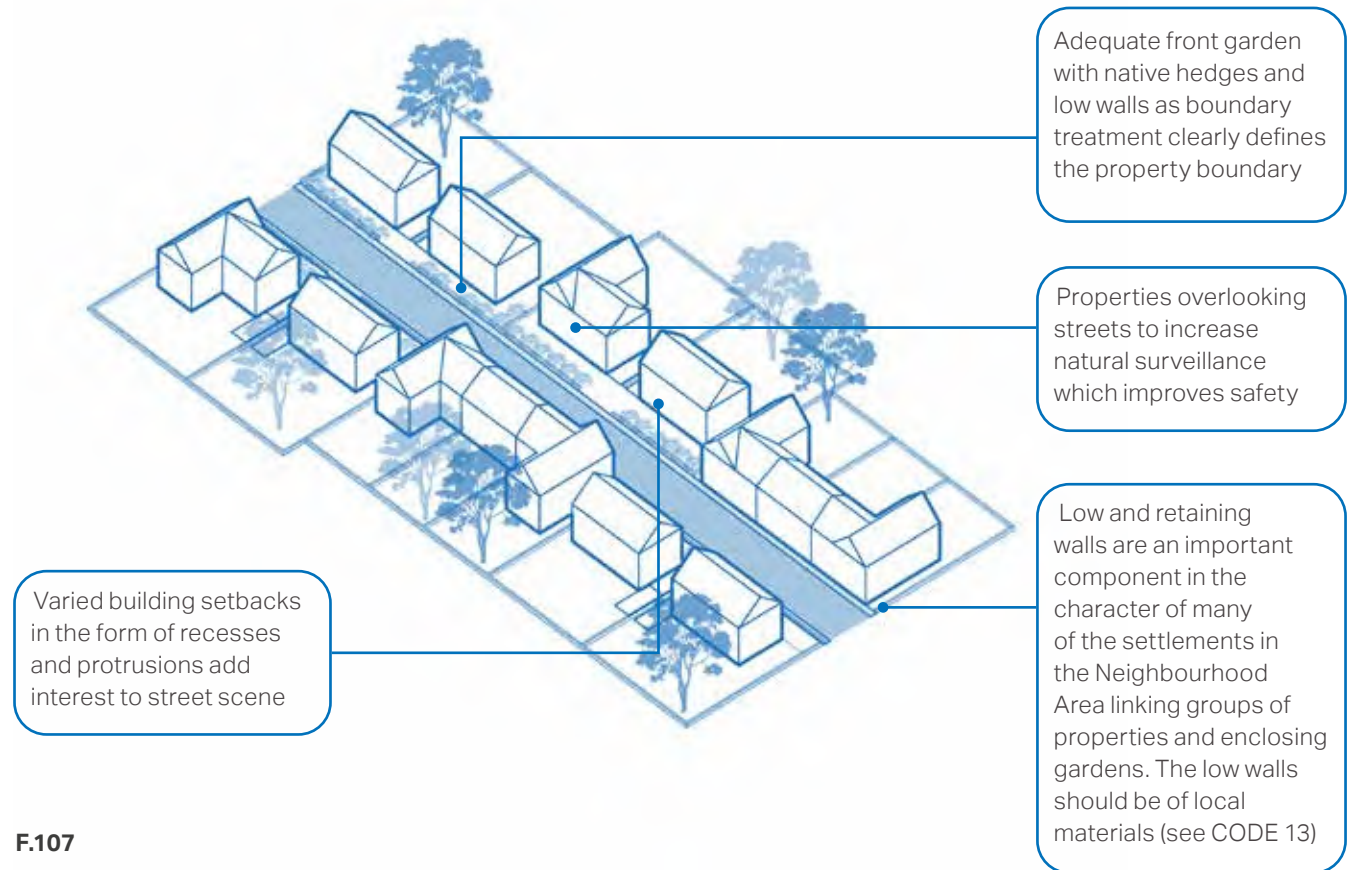


Figure 107: Illustrative diagram showing boundary treatments

- Front gardens/soft planted shallow setbacks should be provided in most instances, although it is recognised that there are some parts of the Neighbourhood Area where the prevailing character and form is one where buildings sit to the back of the footway/ highway;
- If placed on the property boundary, waste storage should be integrated as part of the overall design of the property. Landscaping could also be used to minimise the visual impact of bins and recycling containers; and
- Locally distinctive landscape features and planting, such as low wall boundary and hedges of native species should be used in new development to define boundaries. Any material that is not in keeping with the local character should be avoided.



F.108

Figure 108: Shops along Salisbury Street without boundary treatments



F.110

Figure 110: Two-storey detached house with shrubs and hedges as boundary treatment on Preetz Way



F.109

Figure 109: Hedges, shrubs and deep green verges are the predominant boundary treatments in old Bryanston. These give a feeling of openness and should be maintained and enhanced



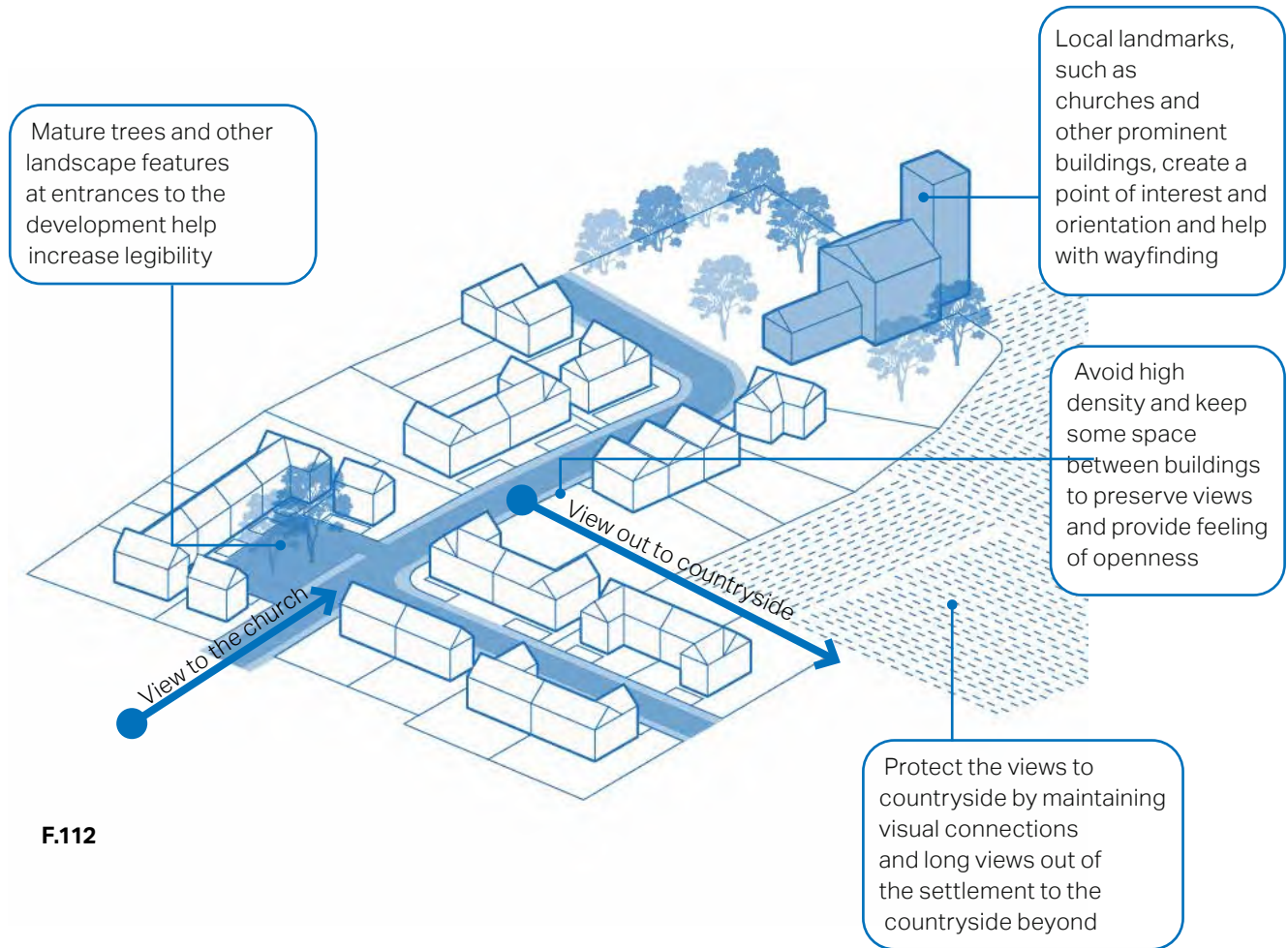
F.111

Figure 111: Low wall and fencing as boundary treatment on Salisbury Road

CODE 13. RESPECT THE LANDMARKS AND IMPORTANT VIEWS

New development proposals should not be visually intrusive. This should be achieved through appropriate scaling and design, including landscape screening, where appropriate;

- Where possible, scenic values and tranquility of countryside views should be retained in future development;
- Where appropriate, future development proposals should incorporate landscape and built features to create landmarks, helping with legibility; and
- New development proposals should maintain visual connections to the surrounding landscape and long views out of the settlement. Development density should allow for spaces between buildings to preserve views of countryside beyond and maintain the perceived openness of the settlement. The views towards The Cliff should be respected; and



F.112

Figure 112: Diagram showing landmarks and views

- Creating short-distance views broken by buildings, trees or landmarks helps to create memorable routes and places, and easily intelligible links between places. New developments should be oriented to maximise the opportunities for memorable views and visual connectivity.
- New development should not interfere and also enhance the identified key views detailed within the Dorset Councils Partnership’s Conservation Area Appraisal.



F.113



F.114



F.115



F.116

Figure 113: Corner building acts as landmark

Figure 114: Pump House, grade I listed building, just next to St Peter and St Paul’s Church which is a focal point on Market Place

Figure 115: Corn Exchange with white stone and distinctive architecture details is a landmark on Market place

Figure 116: Mature trees and significant landscape in Bryanston School

CODE14. INFILL DEVELOPMENT

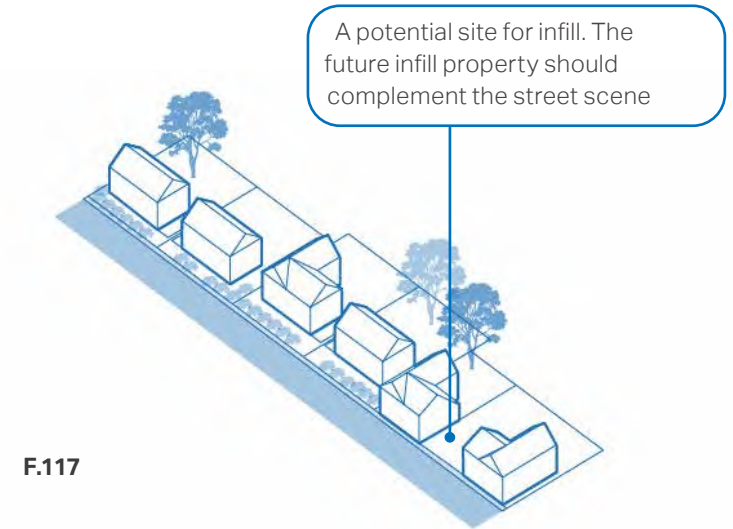
Backland development or plot infill is development on land of an existing dwelling. In the case of Blandford, there have been recent instances of infill/backland development that has been out of context in terms of scale, form and material palette. There is a risk that this sort of development will continue to come forward, which may harm the historic core of the town where the burgage pattern development is located.

Any new backland development should ensure that the spacing requirements set out within this code are met and that the density, scale and appearance of the development reflects its immediate context and reduces impacts to the amenity of existing properties.

Tandem development is a form of backland development where a new dwelling is placed immediately behind an existing dwelling and is serviced by the same vehicular access. Tandem developments will generally be

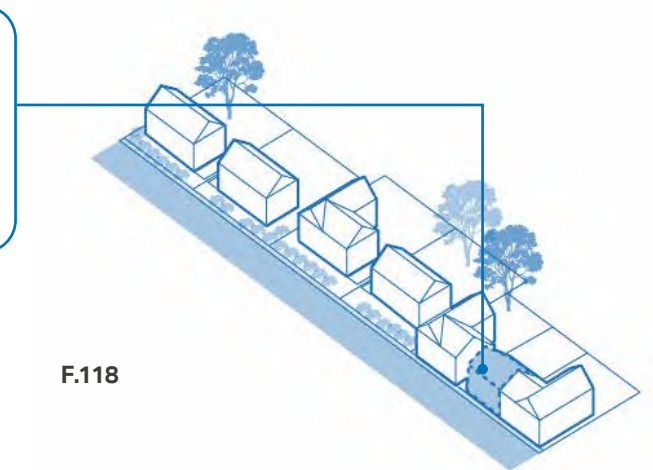
unacceptable due to the impact on the amenity of the dwelling at the front of the site.

Where a proposal involves residential development on land behind an existing frontage or placing of further dwellings behind existing dwellings within the site, the proposal should demonstrate the privacy of existing and future residents and adequate means of access, and it should not extend beyond the limit of the settlements.



F.117

New building lines should be consistent with existing properties. Some places in the Neighbourhood Area have linear or regular meandering arrangements of buildings while others have random and irregular patterns. The infill should also reflect the surrounding context in terms of form, materials and scale



F.118

Figure 117: An indicative diagram highlighting a site before infill

Figure 118: An indicative diagram highlighting a site after infill



F.119

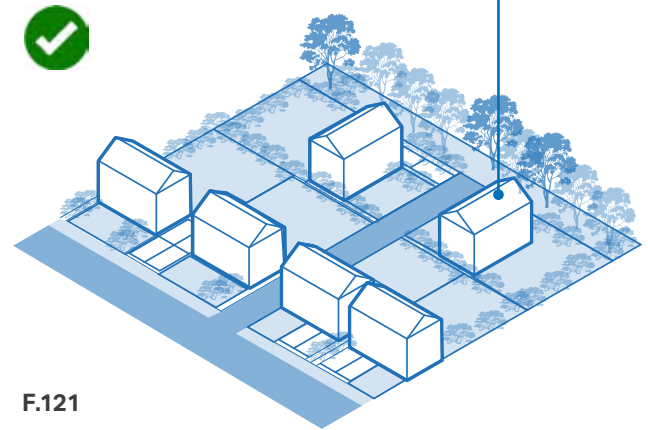


F.120

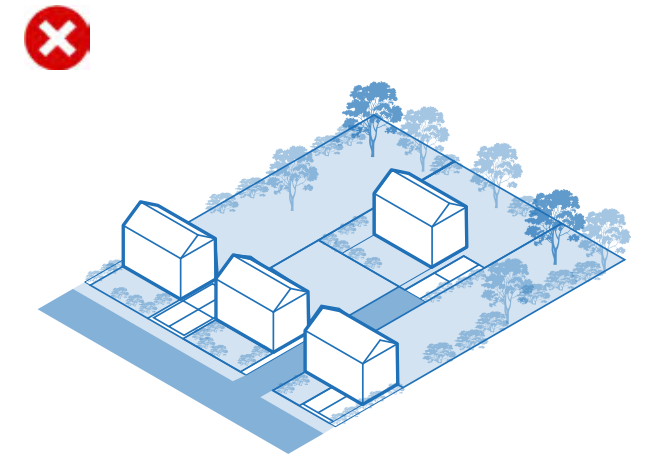
Figure 119: A positive example of infill development on Salisbury Road. The sympathetic architecture and materials used on the new infill development

Figure 120: Unsympathetic architecture and materials in Forum cafe on Salisbury Street (Source: Blandford Plus NP Steering Group)

Addressing any issue of privacy and means of access when new infill proposal come forward



F.121



F.122

Figure 121: Diagram showing backland development

Figure 122: Diagram showing tandem development which will generally be unacceptable due to unacceptable erosion of privacy and amenity

Infill plot development should take precedent from good examples within the surrounding architectural context. Poor contextual precedents should not set the standard. Therefore, the code stipulates that this type of development within the existing settlement will be supported if it adheres to the following principles:

SETTING AND CHARACTER

Infill development should complement the street scene and rural setting into which it will be inserted.

BUILDING PATTERN

Development should align with the spatial layout and pattern of the settlement in terms of the sizes of plots and position of houses within those plots.

SCALE AND MASSING

The height of development should take into consideration the surrounding context. The scale of any infill or backland development should be informed by adjacent dwellings within the streetscene, which will lead to a maximum of two storeys in most of the Neighbourhood Area outside the town centre, where three or four storeys may be appropriate.

The ratio of garden space to built form within the overall plot is important to ensure that the sense of openness and green space within the settlement is maintained (see **CODE 8**).



F.123

Figure 123: Semi-detached infill development. The dormers do not match and spoil the symmetry of a row of identical houses on Kings Road (Source: Blandford Plus NP Steering Group)



F.124

Figure 124: A positive example of infill development. New properties on site of Magistrates Court mirrors the houses opposite on Salisbury Road (Source: Blandford Plus NP Steering Group)

PLOT BOUNDARY LINE

Front boundaries should respond to the boundaries used within adjacent dwellings to provide a continuation of the established street character. The use of hedges, fencing and low brick or flint walls are the primary boundary treatments used in the Neighbourhood Area, except in Bryanston, where only flint is the local material used.

When rear boundaries abut the settlement edge, surrounding landscape or open green spaces, soft planted boundaries of hedgerows and trees must be used to soften the transition into the natural environment and protect views.

PRIVACY AND SPACE BETWEEN BUILDINGS

Any proposed backland or infill development must not cause an unacceptable impact on the residential amenity of adjacent residential properties.

Hedges and fences usually protect privacy at ground floor level, so any privacy issues tend to arise from upstairs windows either looking into neighbours' windows or down into their private garden space.

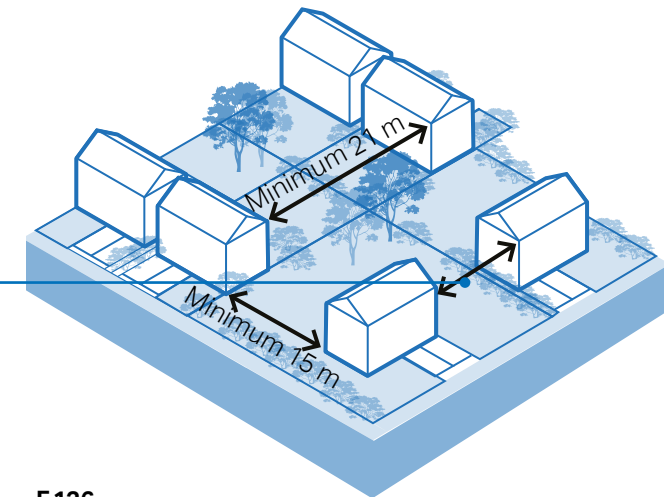
To avoid overlooking of habitable rooms and gardens, a minimum distance of 15 metres should be achieved between dwellings where a side elevation of one dwelling faces a rear elevation of another. Where a side elevation is windowless the separation distance can be reduced to 12 metres. In the low-density residential neighbourhoods, a minimum separation distance of 21 metres should be achieved between facing windowed rear elevations. However, the plots are generally tighter in the town centre and less separation distance might be acceptable.

Space between side elevations should allow for breaks the building line to protect views and provide adequate space for access and storage



F.125

Figure 125: New building to the left fails to respect the original row of properties on Park Road (Source: Blandford Plus NP Steering Group)



F.126

Figure 126: Diagram showing privacy and space between buildings



Figure 127: The Cedars, left, and Badger House, right, are an example of unsympathetic infill redevelopment and good restoration at the Badger crossroads (Source: Blandford Plus NP Steering Group)



Figure 128: New chalet style bungalow in the Conservation Area off Salisbury street, north of the market square which is well-built but materials and style do not match grade listed buildings in close proximity and also do not follow the medieval burgage plot layout of the town (Source: Blandford Plus NP Steering Group)

Figure 129: A positive example of infill development which respects the architecture and use of materials used in adjacent developments on Salisbury Street/Fairfield Road (Source: Blandford Plus NP Steering Group)

Figure 130: A positive example of infill development on St Leonard's Avenue/Wimborne Road (Source: Blandford Plus NP Steering Group)



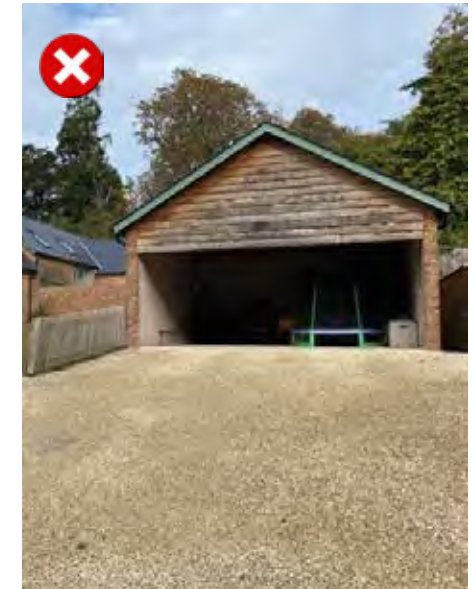
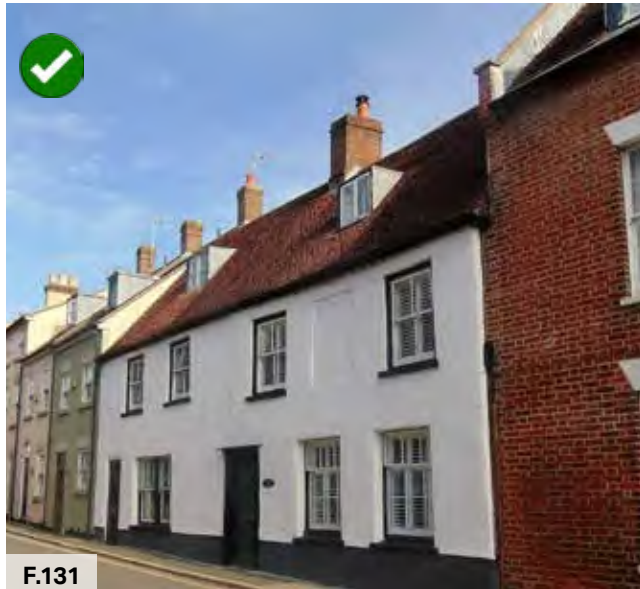


Figure 131: A good infill development, the former Half Moon public house, on Whitecliff Mill Street (Source: Blandford Plus NP Steering Group)

Figure 132: Traditional building (left) built by Bryanston School. It is in keeping with the rural farm-like setting. However the building is obscured from the front by an over scaled garage (right) in front (Source: Blandford Plus NP Steering Group)

Figure 133: A sympathetic infill development on Oakfield Street (Source: Blandford Plus NP Steering Group)

Figure 134: Ashwood Row built mid 90s showing Bryanston character feature. It is built with blue banding, sash window with stone sill and feature window arches, feature gables, red brick and traditional style railings (Source: Blandford Plus NP Steering Group)

CODE 15. ARCHITECTURE DETAILS, MATERIALS AND COLOUR PALETTE

Blandford Forum has national importance as an important Georgian country town. It has a strong historic and architectural character due to its significant historical background and the intact medieval town plan.

There are a variety of architectural styles in the Neighbourhood Area. The majority of buildings within the town centre date from the 18th and 19th century. The medieval town layout and burgage plots provide a worthy backdrop upon which the Georgian town sits adjacent to the river.

The building typologies include a very high density of historic buildings, post-medieval suburb, locally rare surviving 17th century buildings, large houses and grounds, mid-19th century suburban villa.



F.135



F.137



F.136

Figure 135: A mix of dark red brick and cream stone as decoration for window and pillars on three storey building - a Grade I listed building - on Market Place

Figure 136: Flats on Bournemouth Road. Built with hung tiles and pale pink bricks and brown pantiles in Blandford St Mary Character Area

Figure 137: Bryanston Club, now the Old Powerhouse, the former electricity generating station for Portman Estate Model Farm complex in old Bryanston. A former industrial building displaying a simpler form of the red brick and slate materials associated with the Portman Estate cottages

Some of the buildings have modern extensions and alterations. New developments should encourage and support innovative and proactive approaches to design and opportunities to deliver decentralised energy systems powered by a renewable or low carbon source and associated infrastructure, including community-led initiatives.

New developments should strive for good quality design that meets climatic targets for CO2 emissions and that can be constructed sustainability, maximising opportunities for recycling.

Informed by the local vernacular, the following pages illustrate acceptable materials and detailing for future housing developments in the Neighbourhood Area. The use of traditional architectural finishes should be specified for all new development and repair work. The requirement for additional housing in the Neighbourhood Area should not trump architectural quality and character of the area.



F.138



F.139



F.140

Figure 138: Historic housing in the Conservation Area, situated to the south of Market Square. There are burgage plots to the back of the buildings with compact building plots

Figure 139: Mix use of dark brown brick and red brick on a Georgian property in Blandford Forum

Figure 140: A detached house with garage on Preetz Way. It is built with hung tile and pale red brick



Figure 141: Whiterenderedhousesfollowing the road layout on Damory Court Street

Figure 142: White painted brick and sash window used in a detached house on Damory Court Street

Figure 143: A row of terraced houses with dark brown tile on Chapel Gardens

Figure 144: Yellow-rendered terraced house along with other adjoining buildings with red brick and grey rendered facade on Dorset Street

Future developments should carefully apply this code to avoid pastiche interpretations of the existing vernacular. Detailing using contemporary methods can help avoid this.

Conversions of existing historic buildings for residential use should preserve and enhance any existing heritage features and maintain the original building's integrity. New fenestration should be positioned carefully to retain character and balance, reflecting the building's existing design while using complementary materials and finishes. These buildings can provide large single dwellings or can be split into a series of smaller dwellings.

WALL MATERIALS

There are different wall materials in the Neighbourhood Area, including red brick, decorative blue bricks in laines or patterns, pale pink bricks, render and flint.

WINDOW & DOOR MATERIALS

There are various window and door typologies used in the Neighbourhood Area. Sash windows are commonly used

throughout the Neighbourhood area, reflecting the heritage value of many of Blandford's buildings. Timber detailings should be prioritised for windows and doors on historic buildings.

ROOF MATERIALS

Dark pink/ red/ brown roof tiles and slate are common roof materials in the Neighbourhood Area. The majority of buildings have pitched roofs, with a mix of gable and hipped forms.

GROUND SURFACE MATERIALS

Generally tarmac is used for surface treatments in the Neighbourhood Area, but there are also some examples of gravel and block paving.

BOUNDARY TREATMENT MATERIALS

There is a wide variety of boundary treatments in the Neighbourhood Area such as hedges, low walls with red brick and/or flint, shrubs and wooden fencing.

Wall



Dark red brick



Mix of flint and red brick



Yellow render



Green render



Mix of various tone of red brick



Brickwork in Flemish Bond

Fenestration



Sash window



Bay window



Sash window including stone sill and feature window arches



Casement window



Sash window



Wooden door and frame details



Grey wooden door and details



Wooden door



Black wooden door

Roof



Red roof tile



Slate



Shed dormer



Hipped dormer



Dutch gable



Chimney stack

Ground surface



Gravel



Stone paviours
(Market Place)



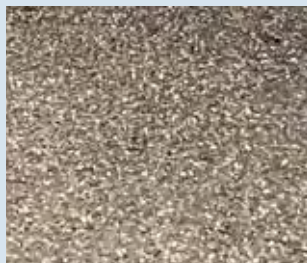
Concrete slabs



Grey tarmac



Herringbone paving



Brown tarmac

Boundary treatment



Shrubs



Hedges



Mix of fencing and low
wall with brown brick



Mix of fencing and
low wall

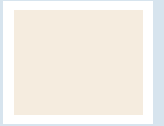


Mix of hedges and
low wall with red
brick



Well-kept front
garden

Colour palette



EE. Environmental and Energy Efficiency

Design codes in the following section apply to the whole Neighbourhood Area. They contain important recommendations that will help to reduce our collective impact on the planet while allowing the natural environment to flourish.

They include general guidance that apply to both new and existing development as some of the policies can be used to modify existing dwelling to become more environmentally sustainable.

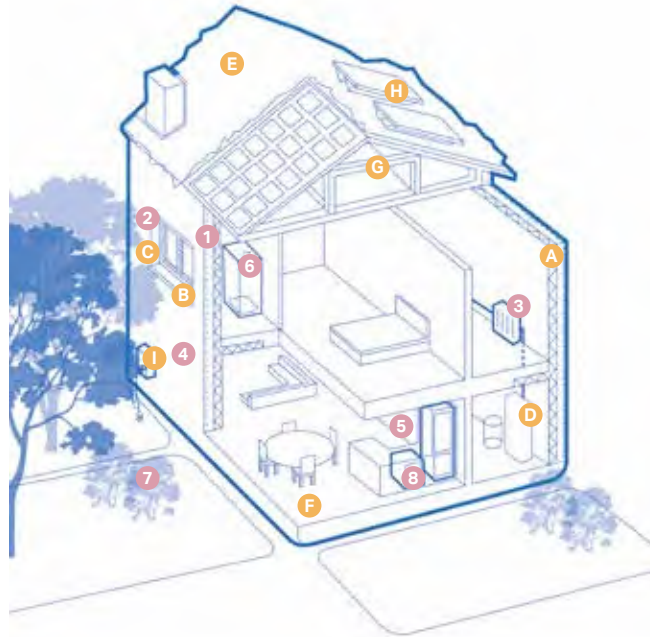
Owing to the Neighbourhood Area's rich green space character, it is hoped that more of these policies are adopted in the future to help preserve and sustain this distinct character.

CODE 16. FEATURES IN DWELLINGS

The following section elaborates on energy efficient technologies that could be incorporated in buildings and at broader Neighbourhood Area design scale as principles.

Use of such principles and design tools should be encouraged in order to contribute towards a more sustainable environment.








Energy efficient or eco design combines all around energy efficient appliances and lighting with commercially available renewable energy systems, such as solar electricity and/or solar/ water heating and electric charging points.



F.145

Figure 145: Diagram showing low-carbon homes in both existing and new build conditions.

Existing homes

- 1  **Insulation**
in lofts and walls (cavity and solid)
- 2  **Double or triple glazing with shading**
(e.g. tinted window film, blinds, curtains and trees outside)
- 3  **Low-carbon heating**
with heat pumps or connections to district heat network
- 4  **Draught proofing**
of floors, windows and doors
- 5  **Highly energy-efficient appliances**
(e.g. A++ and A+++ rating)
- 6  **Highly waste-efficient devices**
with low-flow showers and taps, insulated tanks and hot water thermostats
- 7  **Green space (e.g. gardens and trees)**
to help reduce the risks and impacts of flooding and overheating
- 8  **Flood resilience and resistance**
with removable air back covers, relocated appliances (e.g. installing washing machines upstairs), treated wooden floors

Existing and new build homes

- A  **High levels of airtightness**
- B  **Triple glazed windows and external shading**
especially on south and west faces
- C  **Low-carbon heating**
and no new homes on the gas grid by 2025 at the latest
- D  **More fresh air**
with mechanical ventilation and heat recovery, and passive cooling
- E  **Water management and cooling**
more ambitious water efficiency standards, green roofs and reflective walls
- F  **Flood resilience and resistance**
e.g. raised electrical, concrete floors and greening your garden
- G  **Construction and site planning**
timber frames, sustainable transport options (such as cycling)
- H  **Solar panels**
- I  **Electric car charging point**

CODE 17. BUILDING FABRIC

THERMAL MASS

Thermal mass describes the ability of a material to absorb, store and release heat energy. Thermal mass can be used to even out variations in internal and external conditions, absorbing heat as temperatures rise and releasing it as they fall. Thermal mass can be used to store high thermal loads by absorbing heat introduced by external conditions, such as solar radiation, or by internal sources such as appliances and lighting, to be released when conditions are cooler. This can be beneficial both during the summer and the winter.

Thermal storage in construction elements can be provided, such as a trombe wall placed in front of a south facing window or concrete floor slabs that will absorb solar radiation and then slowly re-release it into the enclosed space. Mass can be combined with suitable ventilation strategies.

INSULATION

Thermal insulation can be provided for any wall or roof on the exterior of a building to prevent heat loss. Particular attention should be paid to heat bridges around corners and openings at the design stage.

Provide acoustic insulation to prevent the transmission of sound between active (i.e. living room) and passive spaces (i.e. bedroom). Provide insulation and electrical insulation to prevent the passage of fire between spaces or components and to contain and separate electrical conductors.

AIRTIGHTNESS

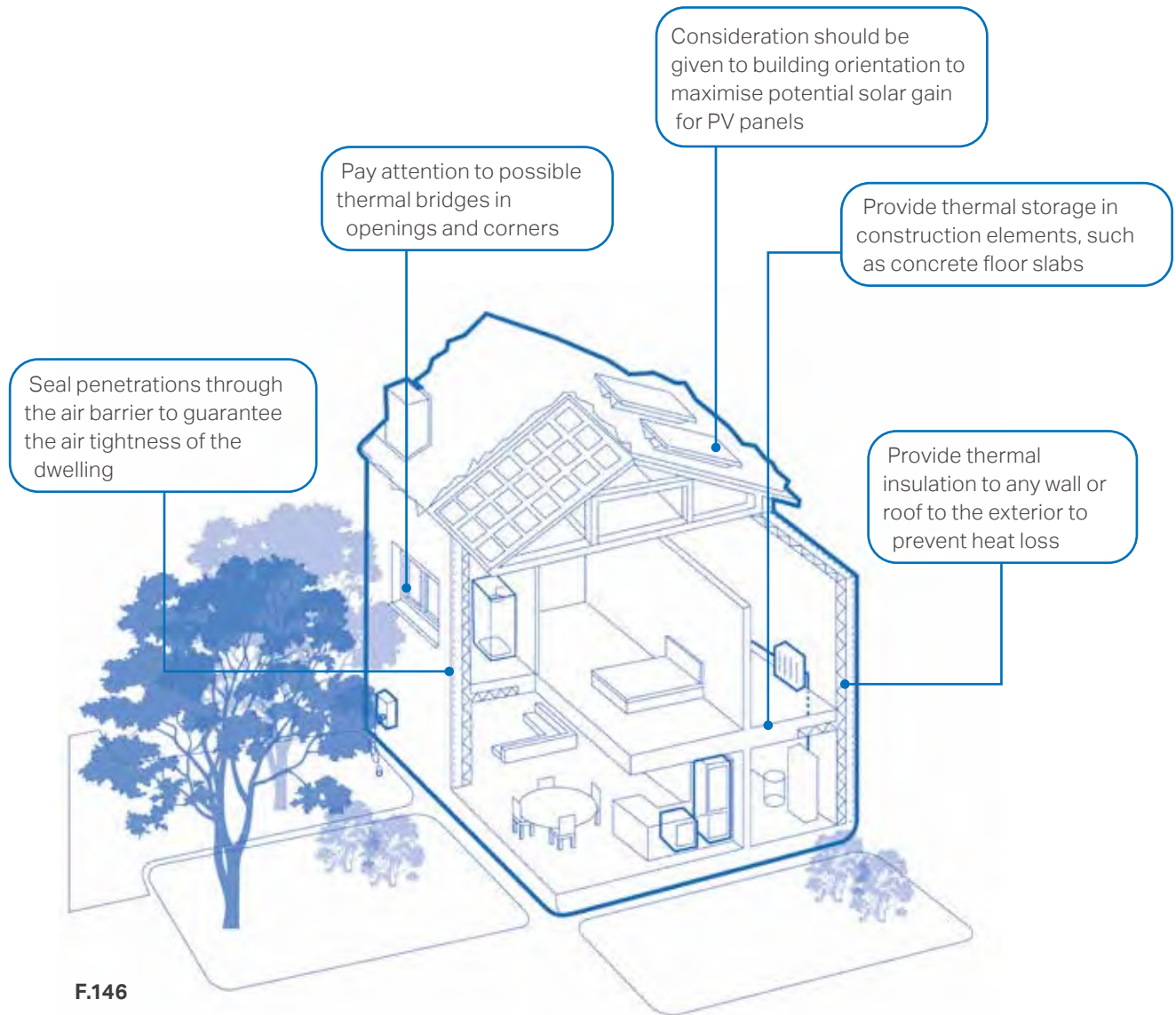
Airtight constructions help reduce heat loss, improving comfort and protecting the building fabric. Airtightness is achieved by sealing a building to reduce infiltration- which is sometimes called uncontrolled ventilation. Simplicity is key for airtight design. The fewer junctions the simpler and more efficient the airtightness design will be.

An airtight layer should be formed in the floor, walls and roof. Doors, windows and roof lights to the adjacent walls or roof should be sealed. Interfaces between walls and floor and between walls and roof, including around the perimeter of any intermediate floor should be linked. Water pipes and soil pipes, ventilation ducts,

incoming water, gas, oil, electricity, data and district heating, chimneys and flues, including air supplies to wood burning stoves, connections to external services, such as entry phones, outside lights, external taps and sockets, security cameras and satellite dishes should be considered.

The opposite diagram illustrates some of these key considerations.

However, given Blandford's concentration of historic buildings and heritage assets, consideration must also be given to traditionally constructed buildings and the need to maintain or reinstate breathability to avoid potentially detrimental impacts on their fabric and internal environment. Where applicable, advice from historic buildings specialists and/or direct to Historic England's suite of guidance on energy efficiency and historic buildings should be sought.



F.146

Figure 146: Diagram illustrating aspects of the building fabric to be considered

CODE 18. FLOOD MITIGATION

Part of the Neighbourhood Area is affected by medium and high flood risks (see **Figure 19**). There are various ways to mitigate flood risk such as Sustainable urban Drainage System (SuDS), rainwater harvesting, and permeable pavements, which the following pages elaborate on.

SUSTAINABLE URBAN DRAINAGE SYSTEM (SUDS)

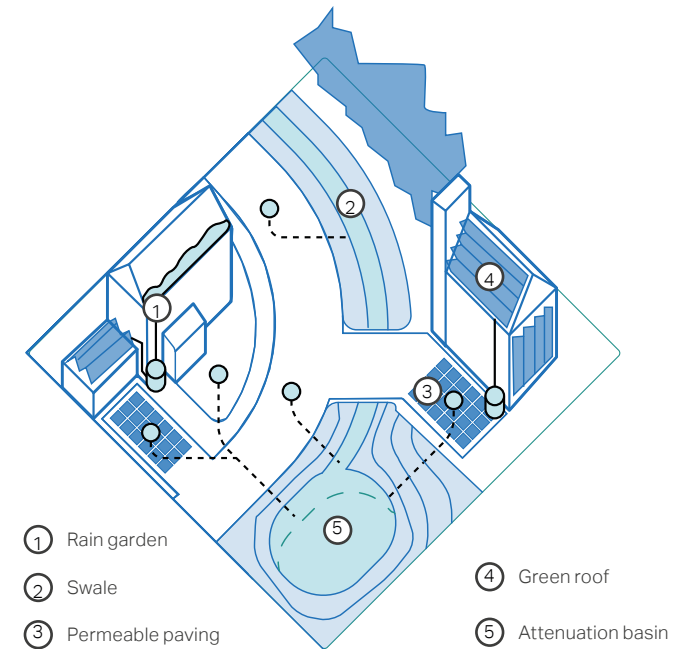
The term SuDs covers a range of approaches to managing surface water in a more sustainable way in order to reduce flood risk and improve water quality whilst improving amenity benefits.

SuDS work by reducing the amount and rate at which surface water reaches a waterway or combined sewer system. Usually, the most sustainable option is collecting this water for reuse, for example in a water butt or rainwater harvesting system, as this has the added benefit of

reducing pressure on important water sources.

Where reuse is not possible there are two alternative approaches using SuDS:

- Infiltration, which allows water to percolate into the ground and eventually restore groundwater; and
- Attenuation and controlled release, which holds back the water and slowly releases it into the sewer network. Although the overall volume entering the sewer system is the same, the peak flow is reduced. This reduces the risk of sewers overflowing. Attenuation and controlled release options are suitable when either infiltration is not possible (for example where the water table is high or soils are clay) or where infiltration could be polluting (such as on contaminated sites).



F.147

Figure 147: Diagram showing the best use of harvesting water systems rain garden, swales, permeable paving, green roofs

The most effective type or design of SuDS would depend on site-specific conditions such as underlying ground conditions, infiltration rate, slope, or presence of ground contamination. A number of overarching principles can however be applied:

- Reduce runoff rates by facilitating infiltration into the ground or by providing attenuation that stores water to help slow its flow down so that it does not overwhelm water courses or the sewer network;
- Integrate into development and improve amenity through early consideration in the development process and good design practices;
- SuDS are most valuable in areas that are not impacted by flood risk, as they can help reduce downstream flood risk by storing water upstream;
- Some of the most effective SuDS are vegetated, using natural processes to slow and clean the water whilst increasing the biodiversity value of the area;
- Best practice SuDS schemes link the water cycle to make the most efficient use of water resources by reusing surface water; and
- SuDS must be designed sensitively to augment the landscape and provide biodiversity and amenity benefits.



F.148

Figure 148: Examples of SuDS designed as a public amenity and fully integrated into the design of the public realm, Sweden

RAINWATER HARVESTING

Rainwater harvesting is a system for capturing and storing rainwater as well as enabling the reuse of in-situ grey water. Some design considerations include:

- Concealing tanks with complementary cladding;
- Use attractive materials or finishing for pipes, unsightly pipes should be avoided;
- Combine landscape or planters with water capture systems; and
- Use underground tanks.



F.149

Figure 149: Example of a rainwater harvesting tank in the shape of a bee hive



F.150

Figure 150: Example of a modular water tank

PERMEABLE PAVEMENTS

Most built-up areas, including roads and driveways, increase impervious surfaces and reduce the capacity of the ground to absorb runoff water. This in turn increases the risks of surface water flooding.

Permeable pavements offer a solution to maintain soil permeability while performing the function of conventional paving. The choice of permeable paving units must be made depending on the local context; the units may take the form of unbound gravel, clay pavers, or stone setts.

Permeable paving can be used where appropriate on footpaths, public squares, private access roads, driveways, and private areas within the individual development boundaries.

It is recommended that the majority of the unbuilt areas in the plot (i.e. gardens) are permeable by means of landscape such as grass or earth as well as permeable and

filtrating pavements. As a rule of thumb the proportion of permeable area should be between 30% to 70% of the unbuilt areas.

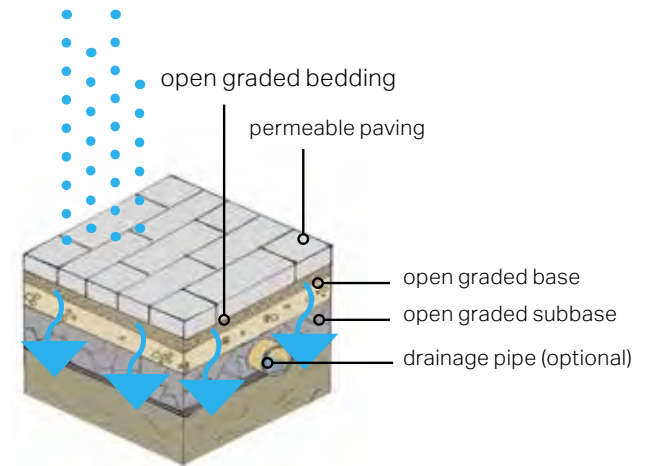
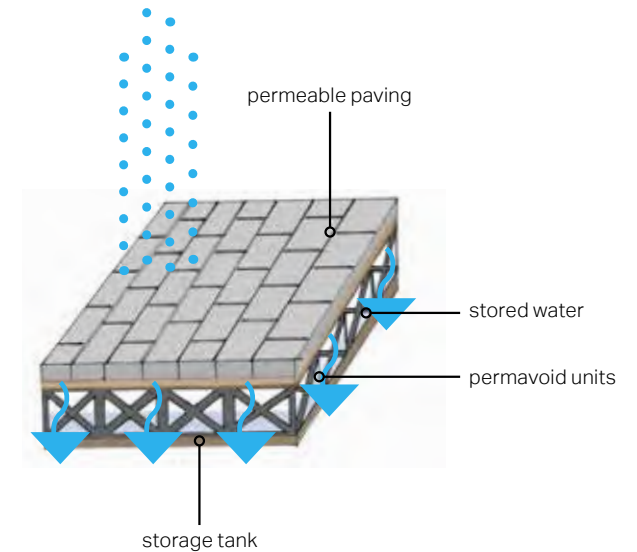
In addition, permeable pavement must also comply with:

- Flood and Water Management Act 2010, Schedule 3;¹
- The Building Regulations Part H – Drainage and Waste Disposal;² and
- Town and Country Planning (General Permitted Development) (England) Order 2015³.

¹ Great Britain (2010). *Flood and Water Management Act, Schedule 3*. Available at: <http://www.legislation.gov.uk/ukpga/2010/29/schedule/3>

² Great Britain (2010). *The Building Regulations Part H – Drainage and Waste Disposal*. Available at: https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/442889/BR_PDF_AD_H_2015.pdf

³ Great Britain (2015). *Town and Country Planning (General Permitted Development) (England) Order 2015*. Available at: http://www.legislation.gov.uk/uksi/2015/596/pdfs/ukxi_20150596_en.pdf



F.151

Figure 151: Diagrams illustrating the functioning of a soak away

Regulations, standards, and guidelines relevant to permeable paving and sustainable drainage are listed below:

- Sustainable Drainage Systems - non-statutory technical standards for sustainable drainage systems;⁴
- The SuDS Manual (C753);⁵
- BS 8582:2013 Code of practice for surface water management for development sites;⁶
- BS 7533-13:2009 Pavements constructed with clay, natural stone or concrete pavers;⁷ and
- Guidance on the Permeable Surfacing of Front Gardens.⁸

⁴ Great Britain. Department for Environment, Food and Rural Affairs (2015). *Sustainable drainage systems – non-statutory technical standards for sustainable drainage systems*. Available at: https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/415773/sustainable-drainage-technical-standards.pdf

⁵ CIRIA (2015). *The SuDS Manual (C753)*.

⁶ British Standards Institution (2013). *BS 8582:2013 Code of practice for surface water management for development sites*. Available at: <https://shop.bsigroup.com/ProductDetail/?pid=00000000030253266>

⁷ British Standards Institution (2009). *BS 7533-13:2009 Pavements constructed with clay, natural stone or concrete pavers*. Available at: <https://shop.bsigroup.com/ProductDetail/?pid=00000000030159352>

⁸ Great Britain. Ministry of Housing, Communities & Local Government (2008). *Guidance on the Permeable Surfacing of Front Gardens*. Available at: https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/7728/pavingfrontgardens.pdf



Figure 152: A good example of permeable paver (Source: <https://www.paverconnection.com/testimonial/hedwig-village-permeable-driveway-and-patio-upgrade/>)



Figure 153: A good example of clay paver (Source: <https://www.londonstone.co.uk/brick-pavers/paving-bricks/>)

CODE 19. WASTE STORAGE AND SERVICING

With modern requirements for waste separation and recycling, the number and size of household bins has increased. This poses a problem with the aesthetics of the property.

- Servicing arrangements should have a specific and attractive enclosure of sufficient size for all the necessary bins, this avoids the blocking of pavements with bins and makes the public realm more attractive. The storage solutions should be kept to the minimum dimensions in order to prevent the footprint being converted into an annexe at a later date;
- Create a specific enclosure of sufficient size for all the necessary bins;

- Bins should be placed as close as possible to the dwelling's boundary and the public highway, such as against wall, fence or hedge;
- Refer to the materials palette to analyse what would be a complementary material;
- Create an environmentally sustainable enclosure to contain all bins; and
- The illustrations below show some successful design solutions for accommodating bins within the plot.



F.154

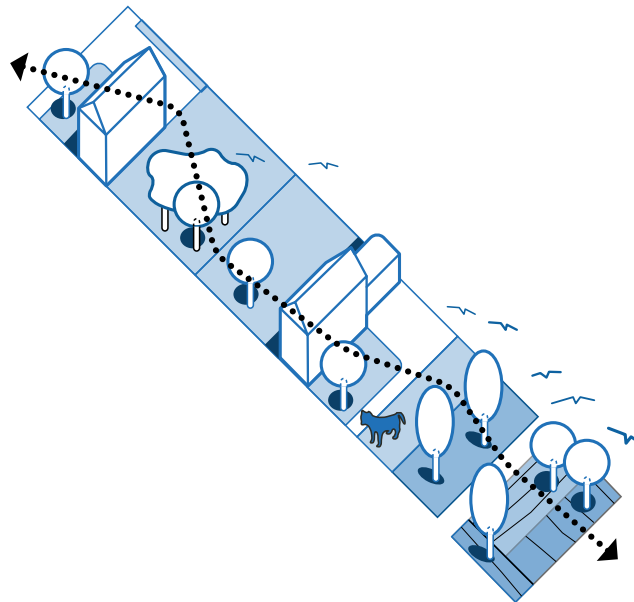


Figure 154: Examples of successful storage design solutions for accommodating bins and bicycles at the front of buildings

CODE 20. WILDLIFE FRIENDLY FEATURES

Biodiversity and woodlands should be protected and enhanced where possible.

- Roadside verges, hedges, and trees should act as natural buffers and should be protected when planning new developments;
- Abrupt edges to development with little vegetation or landscape on the edge of the settlement should be avoided and, instead, comprehensive landscape buffering should be encouraged;
- New developments and building extensions should aim to strengthen biodiversity and the natural environment;
- Ensure habitats are buffered. Widths of buffer zones should be wide enough and based on specific ecological function;



F.155

Figure 155: Diagram to highlight the importance of creating wildlife corridors

Figure 156: Examples of a bughouse decorating rear gardens or public green spaces

Figure 157: Examples of a frog habitat decorating rear gardens or public green spaces



F.156



F.157

- New development proposals should include the creation of new habitats and wildlife corridors such as planting wildflowers and bulbs on the village green spaces, meadows and verges. This could be by aligning back and front gardens or installing bird boxes or bricks in walls. Wildlife corridors should be included to enable local wildlife to travel to and from foraging areas and their dwelling area;
- Avoid low maintenance gardens which are harmful to wildlife by reducing hard landscaping; and
- The loss of any tree and garden should be discouraged. Encourage permeable pavement and gardens which is beneficial to biodiversity net gain.



Figure 158: A view toward Bryanston School Playing Field

4.2 How to apply design codes to character areas

The character area codes are designed to provide specific guidance to areas within the Blandford Plus Neighbourhood Area. These areas were set out in the character analysis undertaken in chapter 3. The specific guidance builds upon the general design codes outlined in the previous section and highlights guidelines that will both preserve and enhance the existing character of the area. These should be read jointly with the previous codes.

Developers seeking to build in these areas should refer to these sections when considering the development layout, placemaking and architectural features of new development.

CA1. Blandford Forum and Approaches

CA2. Blandford Town

CA3. Bryanston

CA4. Blandford Forum Residential

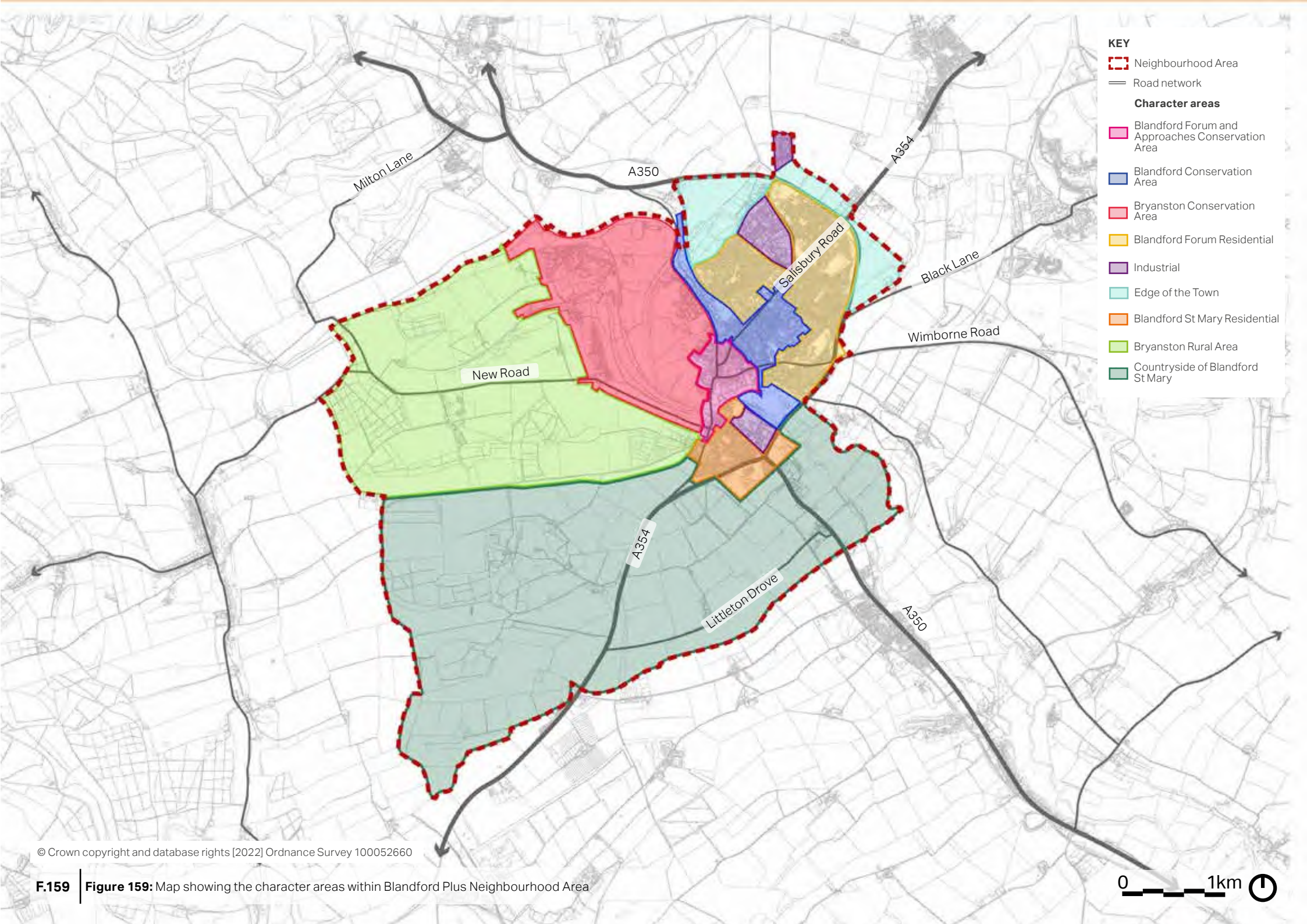
CA5. Industrial

CA6. Edge of the Town

CA7. Blandford St Mary Residential

CA8. Bryanston Rural Area

CA9. Countryside of Blandford St Mary



F.159 | **Figure 159:** Map showing the character areas within Blandford Plus Neighbourhood Area

CA1. Blandford Forum and Approaches Conservation Area

CODE 1- Buildings should front onto the streetscape following the linear settlement pattern typical of the Conservation Area, and retain historical burgage plot layouts where appropriate.

CODE 2 - New developments should be in keeping with the continuous building line and subtle changes in rooflines, and maintain a good sense of enclosure.

CODE 4 - New developments should create safe pedestrian and cycling connections that link with key areas of the town, such as Market Place, to encourage active travel.

CODE 5 - Protect and enhance key landmarks and buildings within the Conservation Area (e.g. Corn Exchange and St Peter and St Paul's Church on Market Place) that serve as important wayfinding aids.

CODE 14 - Any infill developments should be sympathetic to the historical character of the Conservation Area, in terms of the existing style, massing and layout of buildings.

CODE 15 - New developments should use materials that are reflective of the historical vernacular of the conservation area. These include brick and stone for building facades and clay tiles and slates for roofs.



F.160

CODE 5



F.161

Figure 160: Buildings fronting directly onto the street forming a linear pattern, where changes to the rooflines are subtle, Dorset Street.

Figure 161: Views towards landmark buildings, like the Corn Exchange, should be protected and not obstructed by new development.

CA2. Blandford Town

CODE 1 & 2- New developments should reference the existing residential layout of this part of the Conservation Area, such as its grid pattern and occasional cul-de-sacs, that contribute towards the character of this area.

CODE 2- Proposed developments should provide pavements with adequate width that serve the needs of a variety of pedestrians and to maximise safety.

CODE 7- New developments should respect existing open spaces, such as those along the riverside of River Stour, and enhance access to them by creating safe connections.

CODE 12- New development should clearly define property boundaries with materials such as low brick walls and hedges which are commonly featured across this residential part of the Conservation Area.

CODE 14- Any proposed infill developments should integrate with the existing residential character sympathetically and conform with the existing building line, scale, massing and maximum building height of 2 storeys.

CODE 15- New developments should respect the local material palette and vernacular that are traditional to this part of the Conservation Area.

CODE 18- Flood risk mitigation measures (e.g. SUDS) should be incorporated in new developments to mitigate the risks of flooding from River Stour to the west.

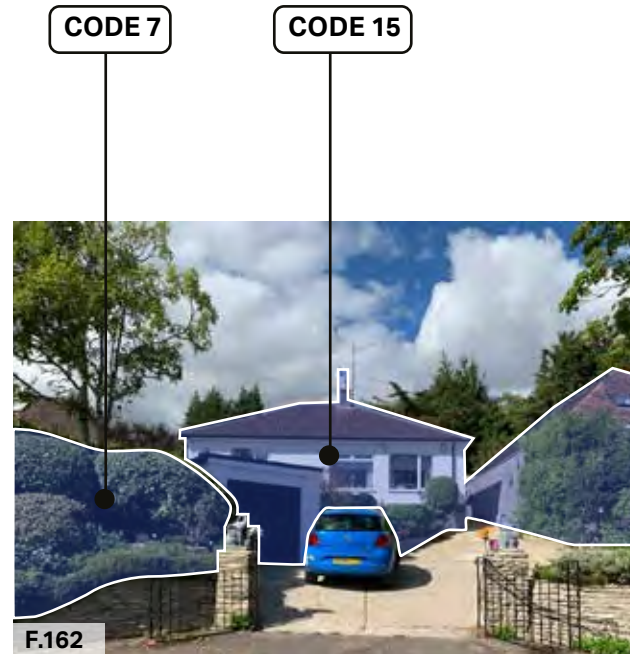


Figure 162: A bungalow with garage on St Leonard's Avenue. The railing and low wall built with yellow brick are the property boundary treatment.



Figure 163: The row of well-built detached and semi-detached houses with red brick, patterned brick and slate on Salisbury Street

CA3. Bryanston

CODE 1 & 2- New developments should respect the largely linear pattern of development in Bryanston, particularly that of The Cliff, and front onto streets to maintain enclosure along the streetscape.

CODE 3 & 4- New developments should be designed to be permeable and provide sufficiently wide pavements (min. 2m) and cycle links that connect with key amenities in Bryanston (such as Bryanston School), services in Blandford and the surrounding countryside.

CODE 6- On-plot parking is recommended to avoid cluttering streets that are already narrow in Bryanston with excessive on-street parking.

CODE 11- Building heights should not exceed 2 storeys and new developments should avoid obstructing views towards surrounding woodlands.

CODE 12- Large grass verges seen along the Cliff are recommend as boundary treatments as they contribute towards a subtle transition into the rural setting surrounding Bryanston.



F.164

Figure 164: Row of detached houses along The Cliff with deep open front gardens provide a feeling of openness (Source: Google Maps)



F.165

Figure 165: View towards the River Stour over the open playing fields of Bryanston School

CODE 4

CA4. Blandford Forum Residential

CODE 1 & 2- Residential development should follow the nucleated pattern of development typical of Blandford Forum, where houses tend to cluster around meandering residential streets, with appropriate levels of setback.

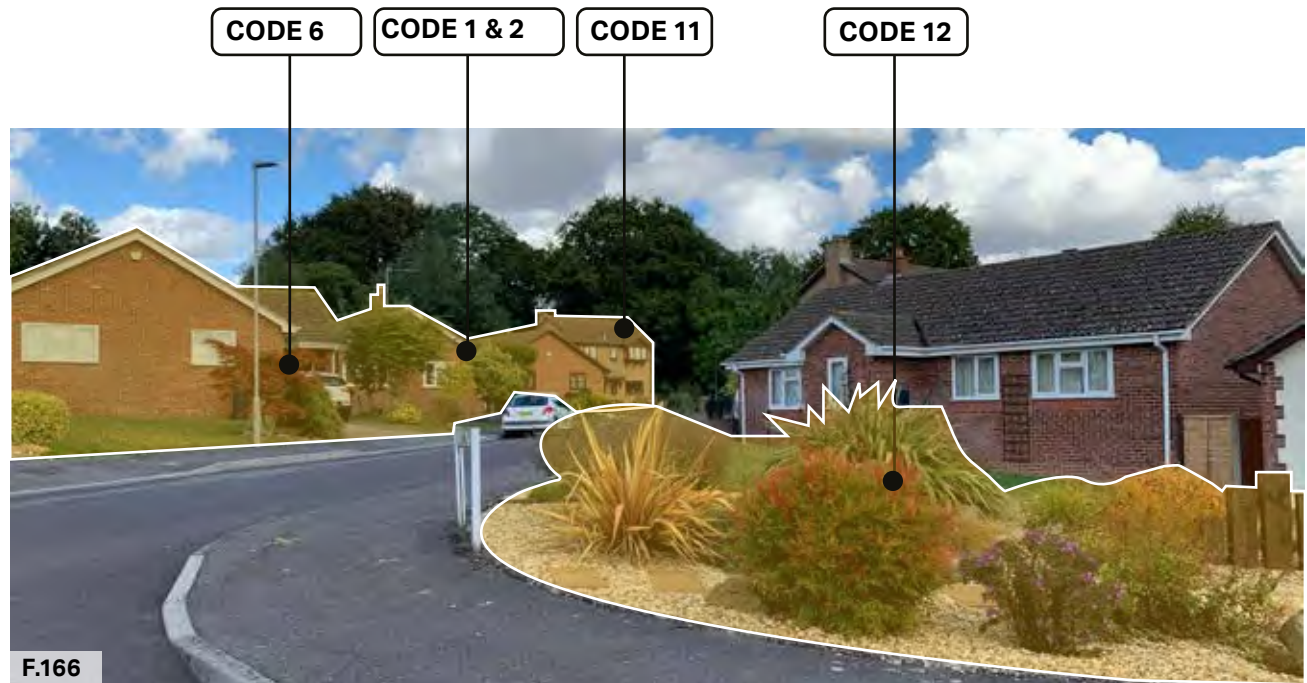
CODE 4- Encourage active travel by connecting this character area with other parts of the Neighbourhood Area and surrounding countryside through new and improved footpaths and cycle links.

CODE 6- On-plot parking is recommended to avoid on-street parking where possible.

CODE 7- New developments should enhance the existing network of playing fields, pocket parks and allotment across as part of the designated Green Infrastructure Network proposed in the Neighbourhood Plan.

CODE 11- Building heights of new developments should not exceed 2.5 storeys and should follow existing rooflines and styles (pitched or hipped).

CODE 12- Wooden fences, low brick walls and vegetation, such as hedges and shrubs, are recommended.



F.166

Figure 166: Bungalows with shrubs and hedges as boundary treatments on Preetz Way

Figure 167: The existing cycleway on Salisbury Road towards A350 and A354 that can be improved and connected to other part of the Neighbourhood Area

CODE 4



F.167

CA5. Industrial

CODE 1 & 2- Respect the industrial character of these areas and ensure future development complements existing uses. Access to these estates should be sensitively designed to maximise safety for pedestrians and ensuring sufficient circulation room for larger vehicles.

CODE 6- New industrial developments should provide courtyard parking, similar to existing estates in the Character Area.

CODE 7- Soften the visual impacts of predominantly hardscaped industrial estates by incorporating tree planting and vegetation in car parking areas.

CODE 11- Building heights should not exceed 2 storeys and new buildings should avoid obstructing views towards the surrounding countryside, particularly in Sunrise Business Park and Hall and Woodhouse Brewery that back onto the countryside.

CODE 12- New industrial buildings should establish appropriate landscape buffers and boundary treatments with the surrounding countryside, particularly in Sunrise Business Park and Hall and Woodhouse Brewery that back onto the countryside.

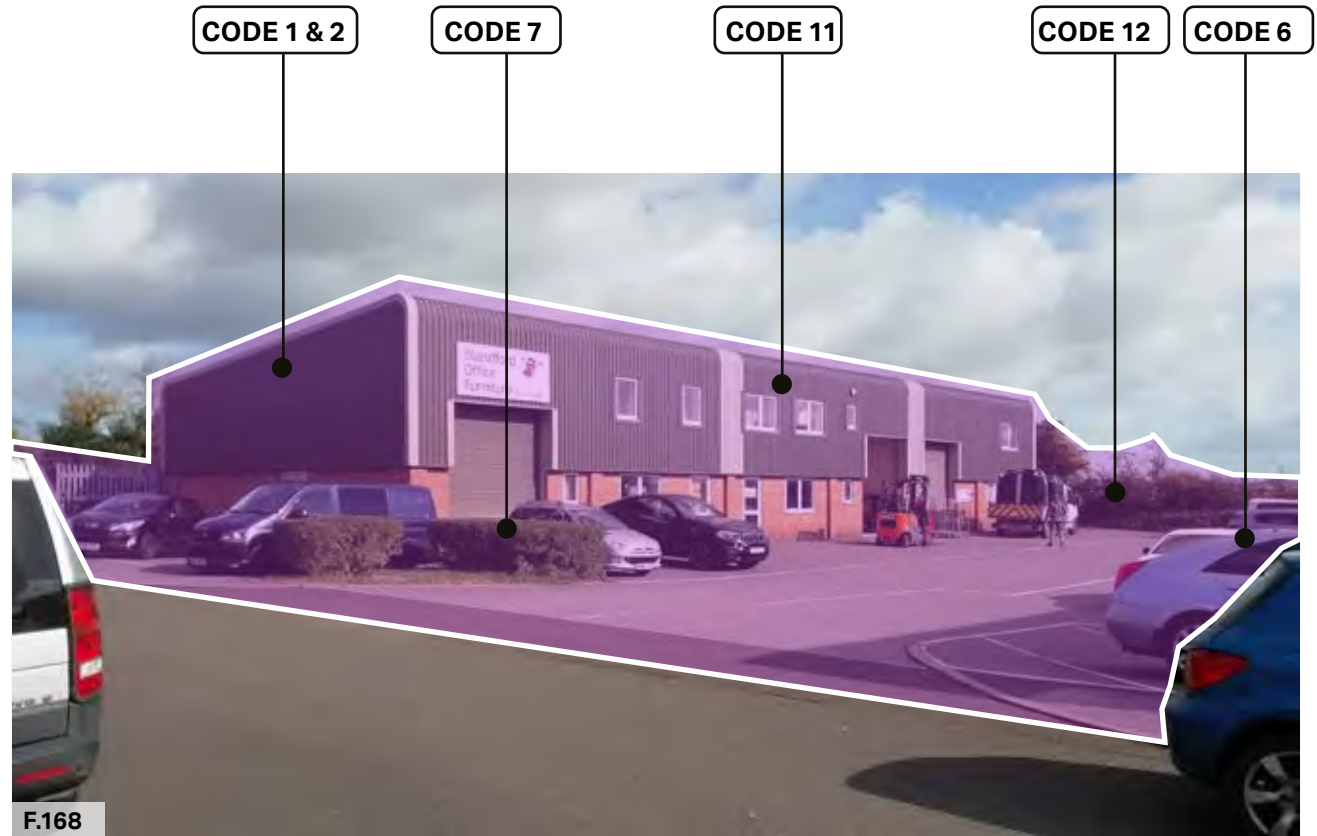


Figure 168: Sunrise Industrial Estate to the north of the Neighbourhood Area
(Source: Blandford Plus NP Steering Group)

CA6. Edge of the Town

CODE 1 & 2- New developments should follow the nucleated pattern of development seen in recent developments across the Neighbourhood Area, particularly to the south of Blandford Forum. Any new developments should not obstruct views to the countryside.

CODE 3 & 4- New developments should be designed to be permeable and provide sufficiently wide pavements (min. 2m) and cycle links that connect with surrounding neighbourhoods, the countryside and the nearby Milldown Nature Reserve.

CODE 6- On-plot parking is preferred and recommended for any proposed developments.

CODE 7- New developments should provide high quality green spaces and landscaping, any existing and mature trees should be adequately retained and incorporated.

CODE 11- Proposed developments should adhere to the average building height across the Neighbourhood Area of 2 storeys, and massing of buildings should be sympathetic to the rural setting of the Character Area.

CODE 12- New developments should establish appropriate landscape buffers and boundary treatments with the surrounding countryside.

CODE 15- New developments should adhere to the local materials palette and vernacular styles featured across the Neighbourhood Area.

CODE 16 & 17- New houses should incorporate energy efficient and eco design principles to enhance their energy performance and sustainability.

Figure 169: A detached house with deep front and back garden (Source: Blandford Plus NP Steering Group)

Figure 170: The existing building heights do not exceed 2 storeys and any future building heights should be between 1-2 storeys (Source: Blandford Plus NP Steering Group)



CA7. Blandford St Mary Residential

CODE 1- Residential development should follow the nucleated settlement pattern featured across the Neighbourhood Area, and cul-de-sacs should be avoided to increase connectivity and permeability.

CODE 4- Active travel is encouraged and new development should connect the Character Area with other parts of the Neighbourhood Area, including St Mary's Primary School, via new and improved footpaths and cycle routes.

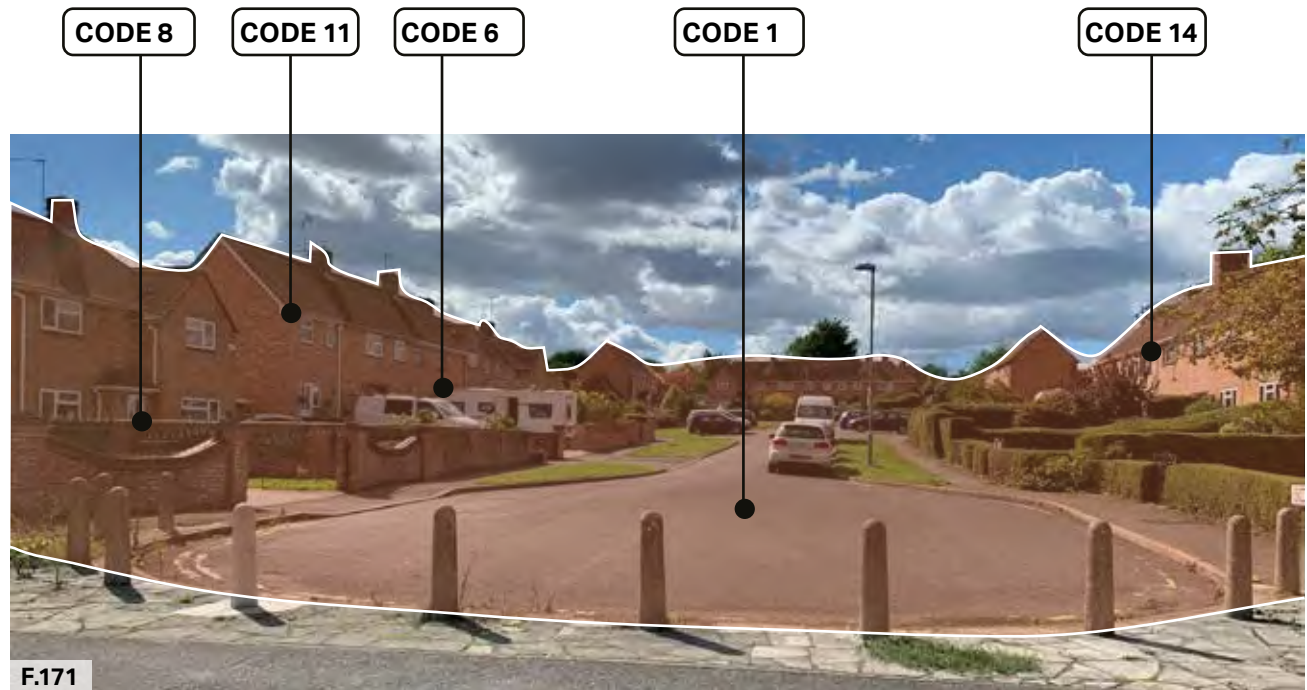
CODE 6- On-plot parking is recommended, avoid on-street parking where possible.

CODE 8- Front and back gardens should be clearly defined to ensure they are adequately sized.

CODE 11- Building heights should not exceed 2 storeys and roof types should be in keeping with those in the Character Area, which consists of mostly hipped roofs, in order to maintain a continuous roofline.

CODE 12- Boundary treatments should use timber fences, low brick walls and hedges.

CODE 14- Any proposed infill development should complement the existing streetscape and be sympathetic to surrounding houses in terms of scale and massing.



F.171

Figure 171: Use of low wall and hedges as boundary treatments on Bournemouth Road.



F.172

Figure 172: Semi-detached houses on Bournemouth Road with deep front gardens.

CODE 12

CODE 4

CA8. Bryanston Rural Area

CODE 1- Residential development should follow along the linear roads of Walnut Avenue and New Road.

CODE 4- Active travel is encouraged and new development should connect the Character Area with other parts of the Neighbourhood Area, including key amenities, via new and improved footpaths and cycle routes.

CODE 6- On-plot parking is recommended and on-street parking should be avoided to prevent cluttering the narrow country roads.

CODE 7- Any mature trees should be retained and protected, these should be integrated with any new developments.

CODE 8- Larger plots with generous front and back gardens that back onto the surrounding countryside and open fields are recommended.

CODE 11- Building heights should not exceed 2 storeys, and the massing of buildings should be sensitive to the surrounding rural landscape and should not block views towards the countryside.

CODE 12- Hedgerows and vegetation are favoured as boundary treatments.

CODE 20- Strengthen biodiversity and protect the natural environment by incorporating landscape buffers along edges of new developments.

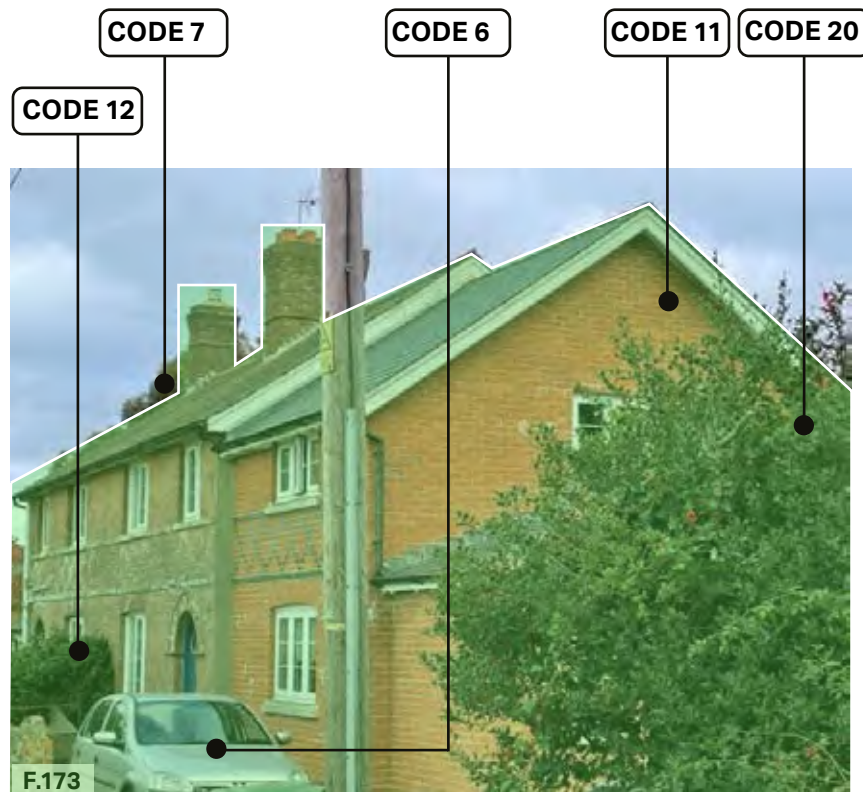


Figure 173: House just off New Road set on a large plot with large setback from the road, screened by hedges. (Source: Google Earth)

CA9. Countryside of Blandford St Mary

CODE 1- Residential development should follow along the linear roads of the A354 and Littleton Drive.

CODE 4- Active travel is encouraged and new development should connect the Character Area with other parts of the Neighbourhood Area, including key amenities, via new and improved footpaths and cycle routes.

CODE 6- On-plot parking is recommended and on-street parking should be avoided to prevent cluttering the main A354 road and narrow country roads.

CODE 7- Any mature trees should be retained and protected, these should be integrated with any new developments.

CODE 8- Larger plots with generous front and back gardens that back onto the surrounding countryside and open fields are recommended.

CODE 11- Building heights should not exceed 2 storeys, and massing of buildings should be sensitive to the surrounding rural landscape and should not block views towards the countryside.

CODE 12- Hedgerows, trees and shrubs are favoured as boundary treatments.

CODE 15- Buildings should opt for materials that reflect the local vernacular and material palette.

CODE 20- Strengthen biodiversity and protect the natural environment by incorporating landscape buffers along edges of new developments.

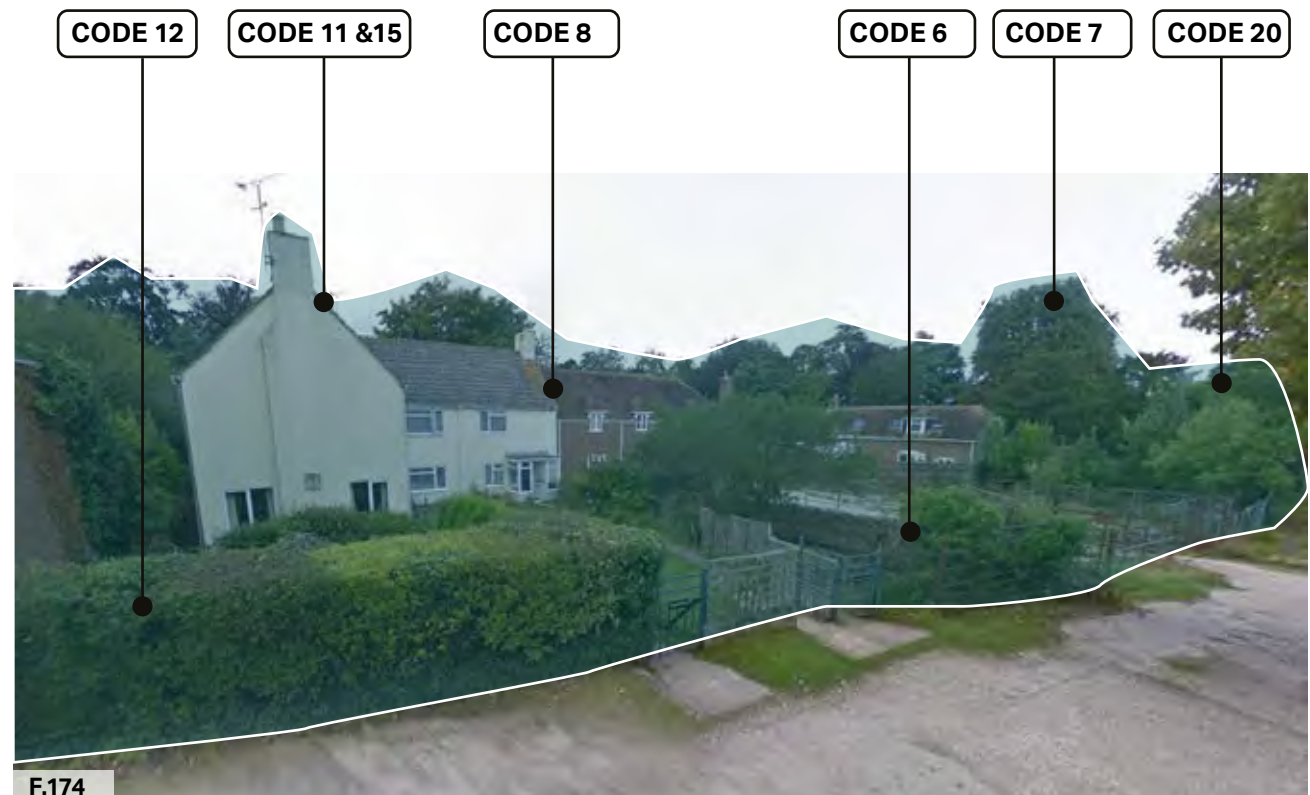


Figure 174: Houses along Littleton Drive set on long plots and setback from the road. (Source: Google Earth)

4.3 Checklists

Because the design guidance and codes in this document cannot cover all design eventualities, this chapter provides a number of questions based on established good practice against which the design proposal should be evaluated. The aim is to assess all proposals by objectively answering the questions below. Not all the questions will apply to every development. The relevant ones, however, should provide an assessment as to whether the design proposal has considered the local context and provided an adequate design solution.

As a first step there are a number of ideas or principles that should be present in all proposals. These are listed under 'General design guidance for new development'. Following these ideas and principles, several questions are listed for more specific topics on the following pages.



1

General design guidelines for new development:

- Integrate with existing paths, streets, circulation networks and patterns of activity;
- Reinforce or enhance the established settlement character of streets, greens, and other spaces;
- Harmonise and enhance existing settlement in terms of physical form, architecture and land use;
- Relate well to local topography and landscape features, including prominent ridge lines and long-distance views;
- Reflect, respect, and reinforce local architecture, its setting and historic distinctiveness, especially within any relevant Conservation Area.
- Retain and incorporate important existing features into the development;
- Respect surrounding buildings in terms of scale, height, form and massing;
- Adopt contextually appropriate materials and details;
- Provide adequate open space for the development in terms of both quantity and quality;
- Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features;
- Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other;
- Positively integrate energy efficient technologies;
- Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation, and minimisation where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours;
- Ensure that places are designed with management, maintenance and the upkeep of utilities in mind; and
- Seek to implement passive environmental design principles by, firstly, considering how the site layout can optimise beneficial solar gain and reduce energy demands (e.g. insulation), before specification of energy efficient building services and finally incorporate renewable energy sources.

2

Street grid and layout:

- Does it favour accessibility and connectivity? If not, why?
- Do the new points of access and street layout have regard for all users of the development; in particular pedestrians, cyclists and those with disabilities?
- What are the essential characteristics of the existing street pattern; are these reflected in the proposal?
- Is the layout of the proposal sympathetic to the character area in which it is located?
- How will the new design or extension integrate with the existing street arrangement?
- Are the new points of access appropriate in terms of patterns of movement?
- Do the points of access conform to the statutory technical requirements?

3

Local green spaces, views and character:

- What are the particular characteristics of this area which have been taken into account in the design; i.e. what are the landscape qualities of the area?
- How does the proposal affect the trees on or adjacent to the site?
- Can trees be used to provide natural shading from unwanted solar gain? i.e. deciduous trees can limit solar gains in summer, while maximising them in winter.
- Has the proposal been considered within its wider physical context?
- Has the impact on the landscape quality of the area been taken into account?
- In rural locations, has the impact of the development on the tranquillity of the area been fully considered?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?
- Can any new views be created?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?

3 (continued)

Local green spaces, views and character:

- Have opportunities for enhancing existing amenity spaces been explored?
- Will any communal amenity space be created? If so, how this will be used by the new owners and how will it be managed?
- Is there opportunity to increase the local area biodiversity?
- Can green space be used for natural flood prevention e.g. permeable landscaping, swales etc.?
- Can water bodies be used to provide evaporative cooling?
- Is there space to consider a ground source heat pump array, either horizontal ground loop or borehole (if excavation is required)?

4

Gateway and access features:

- What is the arrival point, how is it designed?
- Does the proposal maintain or enhance the existing gaps between settlements?
- Does the proposal affect or change the setting of a listed building or listed landscape?
- Is the landscaping to be hard or soft?

5

Buildings layout and grouping:

- What are the typical groupings of buildings?
- How have the existing groupings been reflected in the proposal?
- Are the proposed groups of buildings reflective of the associated character area?
- Are proposed groups of buildings offering variety and texture to the townscape?
- What effect would the proposal have on the streetscape?
- Does the proposal maintain the character of dwelling clusters stemming from the main road?
- Does the proposal overlook any adjacent properties or gardens? How is this mitigated?

5 (continued)

Buildings layout and grouping:

- Subject to topography and the clustering of existing buildings, are new buildings oriented to incorporate passive solar design principles?
- If any of the buildings were to be heated by an individual air source heat pump (ASHP), is there space to site it within the property boundary without infringing on noise and visual requirements?
- Can buildings with complementary energy profiles be clustered together such that a communal low carbon energy source could be used to supply multiple buildings that might require energy at different times of day or night to reduce peak loads? And/or can waste heat from one building be extracted to provide cooling to that building as well as heat to another building?

6

Building line and boundary treatment:

- What are the characteristics of the building line?
- How has the building line been respected in the proposals?
- Has the appropriateness of the boundary treatments been considered in the context of the site?

7

Building heights and rooflines:

- What are the characteristics of the roofline?
- Have the proposals paid careful attention to height, form, massing and scale?
- If a higher than average building(s) is proposed, what would be the reason for making the development higher?
- Will the roof structure be capable of supporting a photovoltaic or solar thermal array either now, or in the future?
- Will the inclusion of roof mounted renewable technologies be an issue from a visual or planning perspective? If so, can they be screened from view, being careful not to cause over shading?

8

Household extensions:

- Does the proposed design respect the character of the area and the immediate neighbourhood, and does it have an adverse impact on neighbouring properties in relation to privacy, overbearing or overshadowing impact?
- Is the roof form of the extension appropriate to the original dwelling (considering angle of pitch)?
- Do the proposed materials match those of the existing dwelling?
- In case of side extensions, does it retain important gaps within the street scene and avoid a 'terracing effect'?
- Are there any proposed dormer roof extensions set within the roof slope?
- Does the proposed extension respond to the existing pattern of window and door openings?
- Is the side extension set back from the front of the house?
- Does the extension offer the opportunity to retrofit energy efficiency measures to the existing building?
- Can any materials be re-used in situ to reduce waste and embodied carbon?

9

Building materials and surface treatment:

- What are the characteristics of the roofline?
- Have the proposals paid careful attention to height, form, massing and scale?
- If a higher than average building(s) is proposed, what would be the reason for making the development higher?
- Will the roof structure be capable of supporting a photovoltaic or solar thermal array either now, or in the future?
- Will the inclusion of roof mounted renewable technologies be an issue from a visual or planning perspective? If so, can they be screened from view, being careful not to cause over shading?

9 (continued)

Building materials and surface treatment:

- Are recycled materials, or those with high recycled content proposed?
- Has the embodied carbon of the materials been considered and are there options which can reduce the embodied carbon of the design? For example, wood structures and concrete alternatives.
- Can the proposed materials be locally and/or responsibly sourced? E.g. FSC timber, or certified under BES 6001, ISO 14001 Environmental Management Systems?

10

Car parking:

- What parking solutions have been considered?
- Are the car spaces located and arranged in a way that is not dominant or detrimental to the sense of place?
- Has planting been considered to soften the presence of cars?
- Does the proposed car parking compromise the amenity of adjoining properties?
- Have the needs of wheelchair users been considered?
- Can electric vehicle charging points be provided?
- Can secure cycle storage be provided at an individual building level or through a central/ communal facility where appropriate?
- If covered car ports or cycle storage is included, can it incorporate roof mounted photovoltaic panels or a biodiverse roof in its design?

11

Architectural details and design:

- If the proposal is within a conservation area, how are the characteristics reflected in the design?
- Does the proposal harmonise with the adjacent properties and associated character area? This means that it follows the height massing and general proportions of adjacent buildings and how it takes cues from materials and other physical characteristics.
- Does the proposal maintain or enhance the existing landscape features?
- Has the local architectural character and precedent been demonstrated in the proposals?
- If the proposal is a contemporary design, are the details and materials of a sufficiently high enough quality and does it relate specifically to the architectural characteristics and scale of the site?
- Is it possible to incorporate passive environmental design features such as larger roof overhangs, deeper window reveals and/or external louvres/shutters to provide shading in hotter months?
- Can the building designs utilise thermal mass to minimise heat transfer and provide free cooling?
- Can any external structures such as balconies be fixed to the outside of the building, as opposed to cantilevering through the building fabric to reduce thermal bridge?



Delivery

05

5. Delivery

5.1 How to use this guide

The Design Guidance and codes will be a valuable tool in securing context-driven, high quality development within Blandford Plus Neighbourhood Area. They will be used in different ways by different actors in the planning and development process.

What follows is a list of actors and how they will use the design guidelines:

Actors	How They Will Use the Design Guidelines
Applicants, developers, and landowners	As a guide to community and Local Planning Authority expectations on design, allowing a degree of certainty – they will be expected to follow the Guidelines as planning consent is sought.
Local Planning Authority	As a reference point, embedded in policy, against which to assess planning applications. The Design Guidance and Codes should be discussed with applicants during any pre-application discussions.
Town and Parish Councils	As a guide when commenting on planning applications, ensuring that the Design Guidance and Codes are complied with.
Community organisations	As a tool to promote community-backed development and to inform comments on planning applications.
Statutory consultees	As a reference point when commenting on planning applications.

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