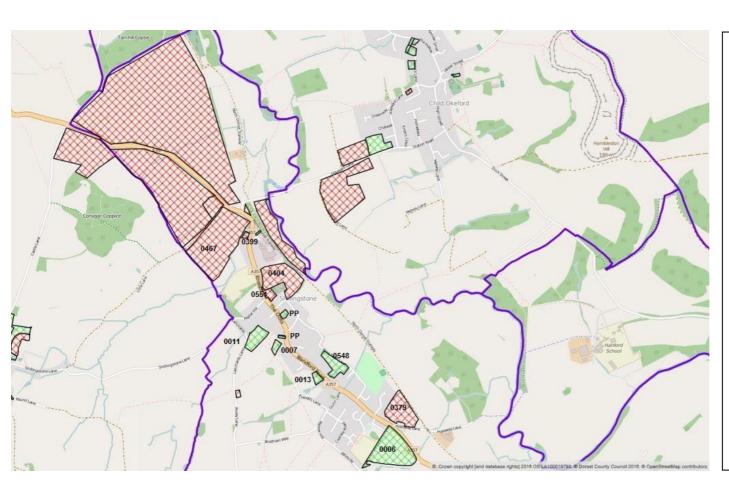
North Dorset Local Plan

Strategic Housing Land Availability Assessment: EXTRACTS - Shillingstone

March 2012



INCLUDED sites

0006 Land at Eastbrook Farm

0007 Orchard adjoining the Lodge

0011 Land adjoining Red House

0013 Land NW of the Cobbles

0548 Land off Hine Town Lane

EXCLUDED sites

0379 Hambledon Farm

0399 Dee Jay Motors

0404 Churchfields

0467 Holloway Farm

0551 Shillingstone Primary School

Included Site

Site Reference N	umber	2/46/0006		Parish		46.Shilling	stone CP	
Site Address	Land at Eas	tbrook Farm						
Settlement		Shillingstone	7					
Source of site	Site subm	itted by landowner				Green	field	
					_			_
Total site area (b	a) 4.52	Developable S	ite Area (ha	4.52	E	stimated p	otential	100
Comments on	Edge of v	illage site therefore der	sity appropriat	e to this lo	ration			
final potential	1							
Supply Yrs 1 to 5	0	Supply Yrs 6	to 10	00	Suppl	y Yrs 11 o	nwards	0
	Constrain	b		1	Possible ac	tions to mitig	ste constr	aints
Strategic policy								
considerations								
Local policy								
considerations								
Flood risk	Flood Zone	1		-	Develop in II	ne with site lev	el FRA	
Tree cover	None, matu	re hedgerows form the	boundary of the	site '	Tree survey	and preserve v	aluable tree	s/hedges
Contamination /	Assocated	with farm buildings				nation assessr	ment and rer	nediation
hazard					where needs	*0		
Environmental	<u> </u>			-+				
conditions								
Topography /	Generally fi	at site						
ground conditions								
Townscape or	attractive e	ige of village location, a	djacent to new	school				
character								
Site Access	Narrow app	roach lane				d in same own		fore
					access limits	ations can be o	vercome	
	<u> </u>							
Suitability	Suitable	Availabi	lity Ava	ilable	Ach	ievability	Not Achi	eldere
General								
Comments								
		R	EPORT ENI	,				

Position as at 31st March 2012

North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself

Included Site

Site Reference N	umber 2	/46/0007	Parish	46.Shilling	gstone CP
Site Address	Orchard adjoi	ning The Lodge			
	Blandford Ros	ad			
Settlement	Sh	illingstone			
Source of site		ed by landowner		Green	ofield
Source of site					
Total site area (l	0.31	Developable Site A	rea (ha) 0.3	1 Estimated p	ootential 6
Comments on final potential					
imai potentiai					
Supply Yrs 1 to 5	0	Supply Yrs 6 to 1	0 6	Supply Yrs 11 o	onwards 0
	Constraints			Possible actions to mit	igate constraints
Strategic policy considerations					
Local policy	Outside of set	tiement boundary		policy review	
considerations					
Flood risk	Flood Zone 1				
Tree cover	Hedges aroun	nd the site		Tree survey and preserve	valuable trees/hedges
Contamination /	None known				
hazard					
Environmental					
conditions					
Topography /	Generally a fix	at site			
ground conditions					
Townscape or	Attractive loca	ation, rural area, Conservatio	on area	Design sensitive to setting	ı
character					
Site Access	Access availa	ble onto existing drive			
Suitability	Suitable	Availability	Available	Achievability	Not Achievable
General					
Comments					
	<u></u>				
	REPORT END				
Position as at 31st	Most	Dorset SHLAA - A techn	ical ctude to inform	future policy, it	

March 2012

North Dorset SHLAA - A technical study to inform future policy, i does not constitute planning policy in itself

Included Site

Site Reference N	umber 2	46/0011	Parish	46.Shilling	stone CP
Site Address	Adj to Red Ho	1250			
	Lanchards Lan	10			
Settlement	Shi	illingstone			
Source of site	Site submitte	ed by landowner		Green	field
	_				
Total site area (h	a) 1.23	Developable Site A	rea (ha)	Estimated p	otential 30
Comments on					
final potential	1				
Supply Yrs 1 to 5	0	Supply Yrs 6 to 1	30	Supply Yrs 11 o	nwards 0
	Constraints			Possible actions to miti	gate constraints
Strategic policy considerations					
Y	Outside of set	tlement boundary		policy review	
Local policy considerations	Outside of set	Dement boundary		policy review	
Flood risk	Flood zone 1			Develop in line with site lev	rel FRA
Tree cover	Hedges and tr	ees in the hedgerows		Tree survey and preserve	valuable trees
Contamination / hazard	None known				
Environmental conditions					
Conditions					
Topography/	flat field				
ground conditions					
Townscape or		onservation Area and in ple	asant rural	design sensitive to setting	
character	location				
Site Access	Access would	be via Lanchards lane			
Suitability	Suitable	Availability	Available	Achievability	Not Achievable
General					
Comments					
		DEDOL	T END		

Position as at 31st March 2012

North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself _______

Included Site

Site Reference N	(umber 2	2/46/0013	Parish	46.Shillings	tone CP
Site Address	Land North V	West of The Cobbles			
	Blandford Ro	oad			
Settlement	S	hillingstone			
Source of site	Site submit	ted by landowner		Greenfi	eld
					
Total site area (l		Developable Site A			tential 5
Comments on final potential	should retie	ect adjacent densities rathe	r than theoretical pot	ential	
Supply Yrs 1 to 5	0	Supply Yrs 6 to 1	0 5	Supply Yrs 11 or	wards 0
	Constraints		1	Possible actions to mitig	ate constraints
Strategic policy considerations					
Local policy considerations	outsde settle	ment boundary		Policy review	
Flood risk	1				
Tree cover	no TPO				
Contamination / hazard	none				
Environmental conditions	none				
Topography / ground conditions	none				
Townscape or character	within Conse	rvation Area			
Site Access	Access onto	main road	-	negottion with DCC Highwa	nys .
Suitability	Suitable	Availability	Available	Achievability	Achievable
General Comments					
		REPO	RT END		
		h Dorset SHLAA - A tech			

March 2012

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Included Site

Site Reference N	umber 2	/46/0548	Par	ish	46.Shilling	stone CP	\Box
Site Address	Land Off Hin	e Town Lane					\Box
	Shillingstone						
Settlement	SI	hillingstone					
Source of site	Identified B	y PP Officer			Green	field	
Total site area (h	a) 1.22	Developable Si	te Area (ha)	1.22	Estimated p	otential	30
Comments on final potential	estimate alle existing area	ows for drainage ditch a	and for a density n	ot too high as	to be out of char	acter with the	
Supply Yrs 1 to 5	0	Supply Yrs 6	to 10 30	Sup	pply Yrs 11 o	nwards	0
	Constraints	ı		Possible	actions to miti	gate constraint	5
Strategic policy considerations							
Local policy considerations	IOWA			policy rev	riew		
Flood risk	Within flood 2 of site	zone 1 but drainage dib	ch runs through midd	e Develop	in line with site lev	el FRA	
Tree cover	A few trees e	xist on the boundaries	of the site - none with	Tree sun	vey and preserve	valuable trees	
Contamination / hazard	lots of debris etc	on the site - tyres, furn	lture, builders waste	Sol/cont where no	amination assessi reded	ment and remed	ation
Environmental conditions							
Topography / ground conditions	slopes gently	down to the south eas	t				
Townscape or character	large on large	rvation area. Houses in e plots, however there a smaller plots near the s	are some newer	e Design s	ensitive to conser	vation area	
Site Access		present, could either bi or Hine Town Lane - H ow in places					
Suitability	Suitable	Availabil	ity Not Availab	le A	chievability	Not Achieval	ble
General Comments	Ownership u	nknown therefore lon	g term potential				_

REPORT END

Position as at 31st March 2012 North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself

Excluded Site

Site Reference N	tumber 2/46/0379 Parish 46.Shillingstone CP
Site Address	Land adj Hambledon Farm, Bere Marsh & Haywards Lane
	Shillingstone
Settlement	Shillingstone
Source of site	Site submitted by landowner Greenfield
General Comments	Area adjacent to settlements are within Flood Zone 3b and therefore remainder is separated from settlements. Development of this site would extend the village away from the current "centre" which is undesirable. Excluded

REPORT END

Position as at 31st March 2012 North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself

Excluded Site

Site Reference N	iumber 2/46/0399 Parish 46.Shillingstone CP
Site Address	Dee jays Motors
	Blandford Road
Settlement	Shillingstone
Source of site	Site submitted by landowner Brownfield
General Comments	Site is within flood zone 3b and has contamination issues associated with existing use, therefore unsuitable for residential development and unlikely to be desirable

Excluded Site

Site Reference N	Number 2/46/0404 Parish 46.Shillingstone CP
Site Address	Churchfield
	Shillingstone
Settlement	Shillingstone
Source of site	Site submitted by landowner Greenfield
General Comments	Would significantly harm the character and setting of the church, access from the inside of the bend of main road would further make this site difficult to develop therefore excluded

REPORT END REPORT END

Excluded Site

Site Reference N	iumber 2/46/0467 Parish 46.Shillingstone CP
Site Address	Land at Holloway Farm Shillingstone
	Smangstone
Settlement	Shillingstone
Source of site	Site submitted by landowner Greenfield
General Comments	Extend development along road, away from village facilities. Junction with main road has limited visibility and therefore a new junction would be required involving the possible demolition of an existing property, therefore excluded

Excluded Site

Site Reference N	Tumber 2/46/0551 Parish 46.Shillingstone CP
Site Address	Shillingstone Primary School
	Blandford Road
Settlement	Shillingstone
Source of site	Identified By PP Officer Brownfield
General Comments	School is expected to be relocated at some point near 2010 and therefore this site will become available. However, development would significantly harm the setting of the church therefore excluded

REPORT END REPORT END